

NOTE:
ALL DIMENSIONS SHOWN
TO FOUNDATION WALL,
FINAL EXTERIOR CLADDING
MAY ALTER DIMENSIONS

THE ELEVATION OF THIS HOUSE
HAS BEEN DESIGNED SO THAT IT
WILL BE IN CONFORMANCE WITH
THE LOT GRADING PLAN.

Lot Area: 972.89 Sq M
House Area: 323.42 Sq M
House Coverage: 33.24%
(Cov. Deck Included)
Deck Area: 10.41 Sq M
Deck Coverage: 1.07%
Total Site Coverage: 34.31%
Driveway Area: 80.21 Sq M
Lot width at 9M Setback = 21.84M
RSL Zoning

Note:
Builder/Owner responsible
to ensure back fill
levels meet all codes.

PROPOSED CLEAN OUT SHOWN
PROPOSED MANHOLE SHOWN
PROPOSED STREET LIGHT SHOWN
PROPOSED HYDRANT SHOWN
PROPOSED C.C. LOCATION SHOWN
PROPOSED TRANSFORMER SHOWN
PROPOSED SERVICE PEDESTAL SHOWN
PROPOSED POWER SHOWN

HOUSE TYPE
FINISHED FLOOR
BOTTOM OF FOOTING
FINISHED GRADE AT – FRONT STEP
– BACK OF HOUSE
BOTTOM OF – BACK/SIDE DOOR SILL
– BASEMENT WINDOWS
TOP OF CONCRETE BASEMENT WALL
GARAGE FLOOR
SANITARY SEWER SERVICE INVERT
FOOTING SIZE

2 Storey	89.71	9'4" Basement
	86.31	(3 Rise)
	89.10	
	L-88.00, R-87.55	* Minimum Frost Coverage *
	Well as Required	
	89.41	
	*SEE NOTE	
	84.99	
	0.20	

ALL DISTANCES SHOWN ARE IN METRES AND DECIMALS THEREOF .
ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE
ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED
BY THE LOCAL APPROVING AUTHORITY

GARAGE SLAB AT OVERHEAD
DOOR RECOMMENDED TO BE
SET 1'2" BELOW TOP OF
CONCRETE FOUNDATION WALL.
SLAB ELEVATION 89.05
GARAGE FOOTING 86.31

DATE OF REVISION 1 Oct. 1/13 D
F.P.

MODEL Sran Residence (Standard)

BUILDER\OWNER Yuvraj Sran

LOT 22 BLOCK 11 PLAN 102 6123
SUBDIVISION Windermere
IN Edmonton ALBERTA

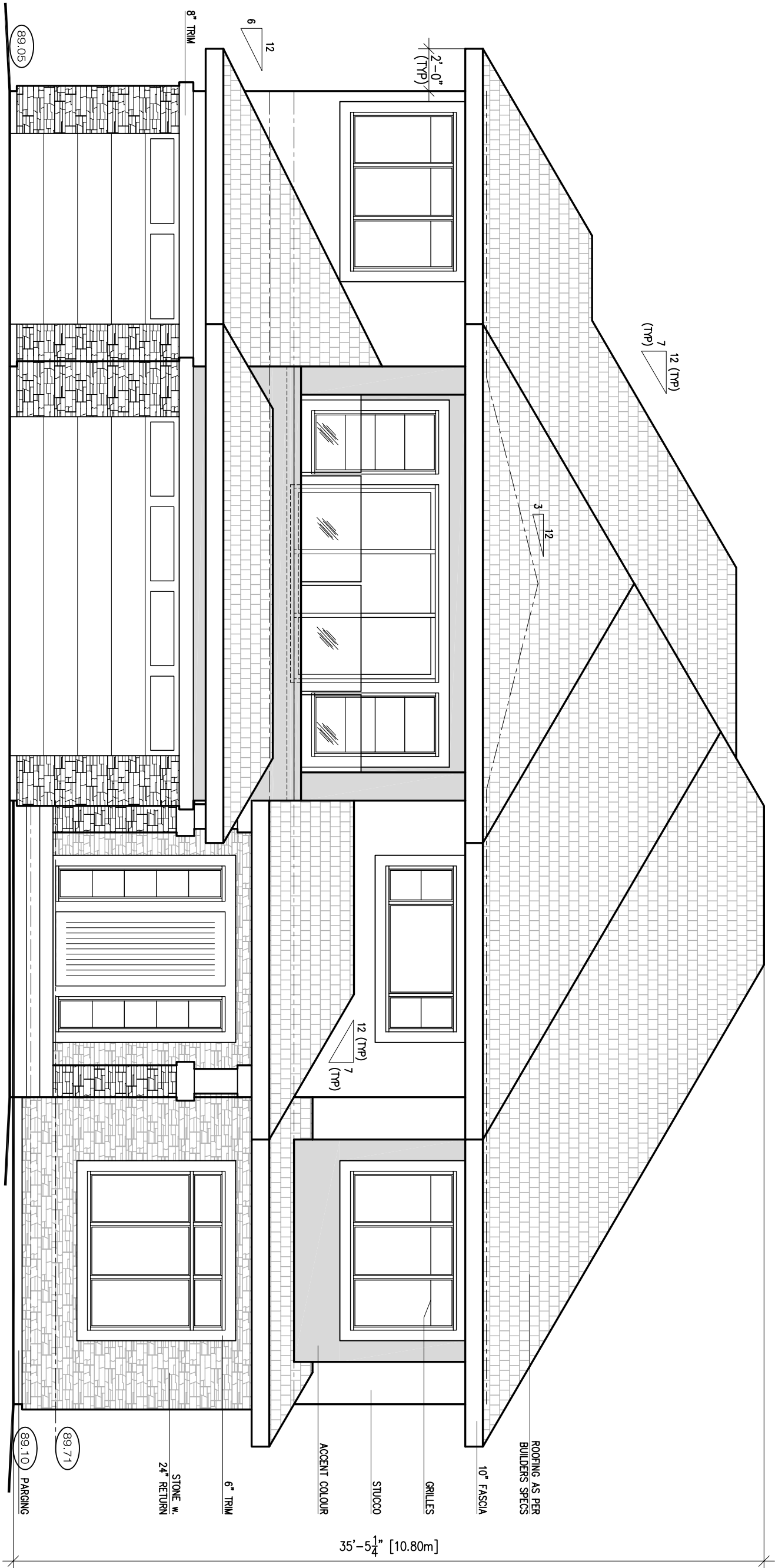
SCALE: 1 : 300

DATE DRAWN: Aug. 27/13 J



Pals Geomatics
Corp.



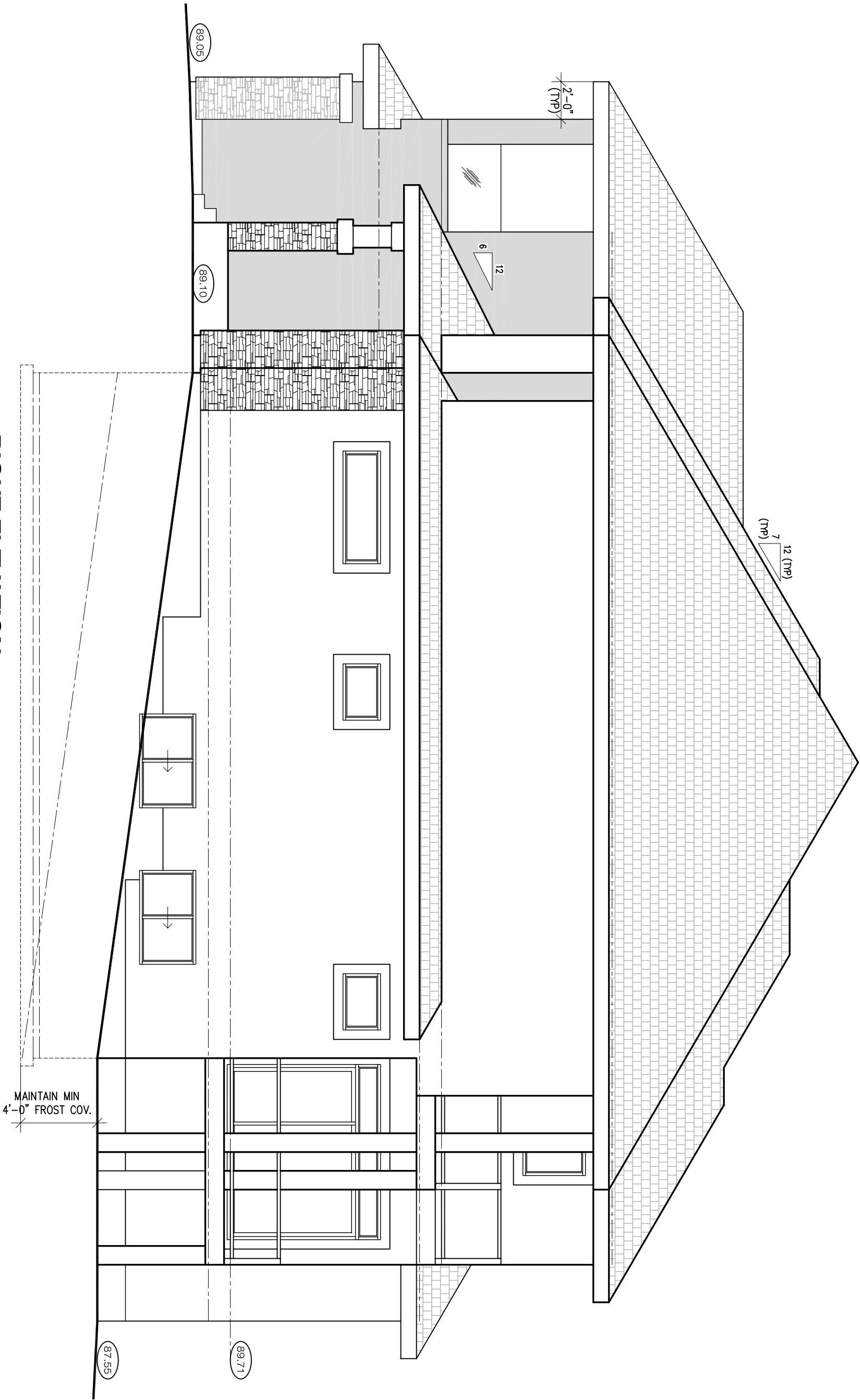


FRONT ELEVATION

SCALE: 3/16" = 1'-0"

NOTE:
STONE EQUALS 412 SQ FT

ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE		
CLIENT: SRAN RESIDENCE		
MODEL: CUSTOM TWO STOREY		
DRAWING: FRONT ELEVATION		
euro design inc		
TEL: (780) 488-8834 FAX: (780) 488-8837 11236 119 STREET, EDMONTON, ALBERTA T5G 2X3 eurodesign@shaw.ca		
LOT/BLOCK: 22 / 11	PLAN: 102-6123	JOB NO.:
DATE: Oct 9, 13	DRAWN BY: DH	SHEET: 1
SCALE: NOTED	DESIGN BY: N/A	9

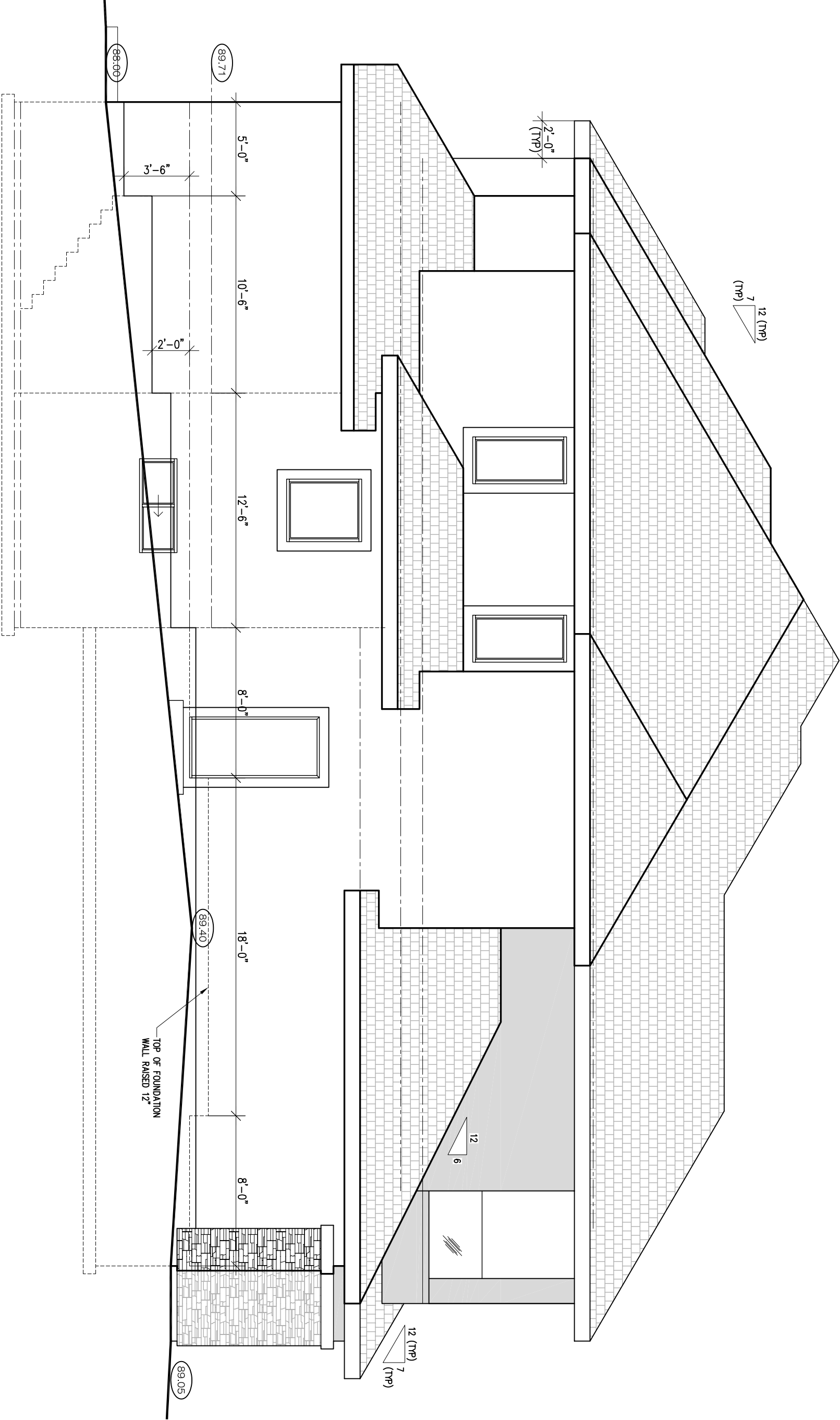


RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

NOTE:
GRADE SHOWN IS FOR DRAWING PURPOSES ONLY. ACTUAL GRADE SHALL BE DETERMINED ON SITE. IF RETAINING WALLS ARE REQUIRED, HEIGHT & LENGTH OF RETAINING WALLS SHALL BE DETERMINED ACCORDING TO SITE CONDITIONS.

ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE			
CLIENT: SRAN RESIDENCE			
MODEL: CUSTOM TWO STOREY			
DRAWING: RIGHT ELEVATION			
euro design inc			
TEL: (780) 488-8834 FAX: (780) 488-8837 11236 119 STREET, EDMONTON, ALBERTA T5G 2X3 eurodesign@shaw.ca			
LOT/BLOCK:	PLAN:	JOB NO.:	
22 / 11	102-6123		
DATE:	DRAWN BY:	SHEET:	
Oct 9, 13	DH	2	
SCALE:	DESIGN BY:		
NOTED	N/A	9	

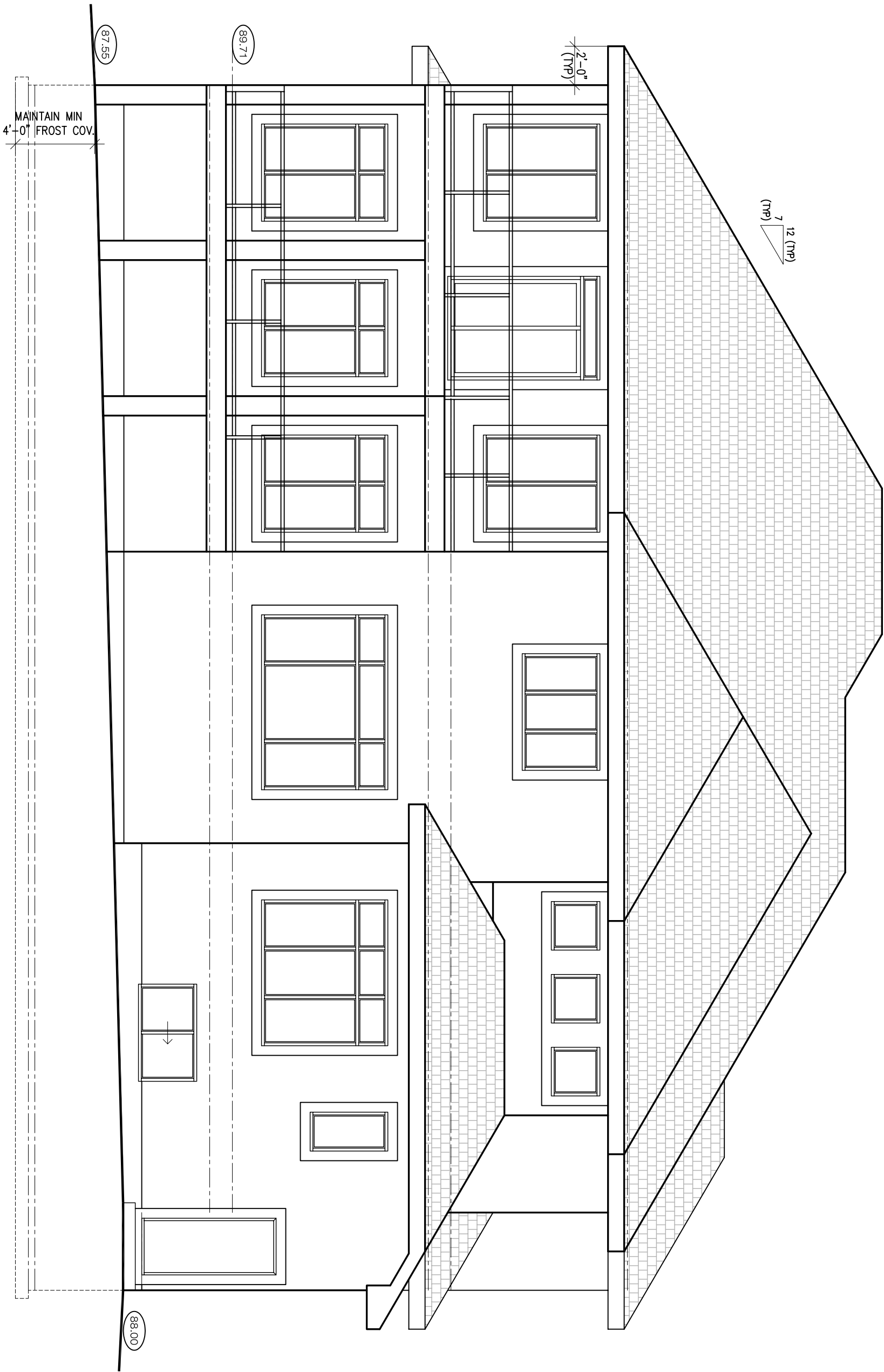


LEFT ELEVATION

SCALE: 3/16" = 1'-0"

NOTE:
GRADE SHOWN IS FOR DRAWING PURPOSES ONLY. ACTUAL GRADE SHALL BE DETERMINED ON SITE. IF RETAINING WALLS ARE REQUIRED, HEIGHT & LENGTH OF RETAINING WALLS SHALL BE DETERMINED ACCORDING TO SITE CONDITIONS.

ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE		
CLIENT: SRAN RESIDENCE		
MODEL: CUSTOM TWO STOREY		
DRAWING: LEFT ELEVATION		
euro design inc		
TEL: (780) 488-8834 FAX: (780) 488-8837 11236 119 STREET, EDMONTON, ALBERTA T5G 2X3 eurodesign@shaw.ca		
LOT/BLOCK:	PLAN:	JOB NO.:
22 / 11	102-6123	
DATE:	DRAWN BY:	SHEET:
Oct 9, 13	DH	3
SCALE:	DESIGN BY:	
NOTED	N/A	9



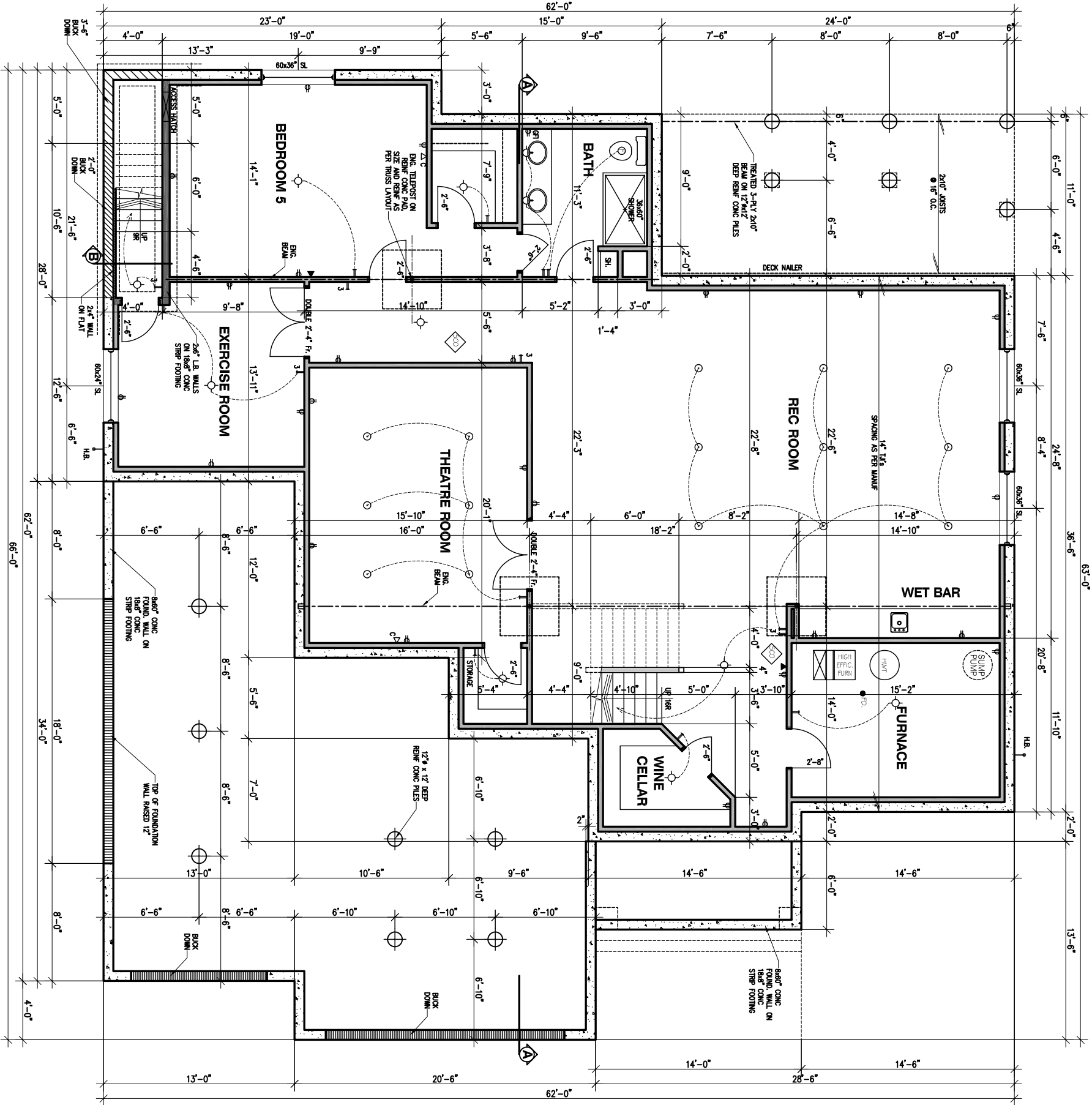
REAR ELEVATION

SCALE: 3/16" = 1'-0"

NOTE:

GRADE SHOWN IS FOR DRAWING PURPOSES ONLY. ACTUAL GRADE SHALL BE DETERMINED ON SITE. IF RETAINING WALLS ARE REQUIRED, HEIGHT & LENGTH OF RETAINING WALLS SHALL BE DETERMINED ACCORDING TO SITE CONDITIONS.

ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE		
CLIENT: SRAN RESIDENCE		
MODEL: CUSTOM TWO STOREY		
DRAWING: REAR ELEVATION		
euro design inc		
TEL: (780) 488-8834 FAX: (780) 488-8837 11236 119 STREET, EDMONTON, ALBERTA T5G 2X3 eurodesign@shaw.ca		
LOT/BLOCK:	PLAN:	JOB NO.:
22 / 11	102-6123	
DATE: Oct 9, 13	DRAWN BY: DH	SHEET: 4
SCALE: NOTED	DESIGN BY: N/A	9



LEGEND	
⊖ NATURAL GAS	○ SWITCHED LITE
▲ TEL. OUTLET	○ PULL CHAIN LITE
⊙ CHIME	○ HANGING LIGHT
◆ THERMOSTAT	○ POT LIGHT
⊙ FLURICE FLUE	⊙ WALL SCONCE LITE
⊗ FLOOR DRAIN	○ 110 V OUTLET
↑↑ H/C WATER TAPS	○ 220 V OUTLET
⊥ LITE SWITCH	○ RAZOR OUTLET
⊥ 3-WAY SWITCH	⊥ WEATHERPROOF
⊙ VACUUM OUTLET	⊥ EL. PANEL
□ INTERCOM	⊥ BATH FAN
▽ CABLE T.V.	↑ H.B. HOSE BIB
⊗ CARBON MONOXIDE	○ GFI GROUNDED
⊗ SMOKE DETECTOR	○ GFI OUTLET
⊗ NETWORK CONNECTOR	
⊗ CABLE + TELEPHONE	

Notes:

Contractor/builder to check plans and verify dimensions before proceeding with construction. Roof truss layout and engineered truss drawings are to be provided by truss manufacturer.

Provide wood posts and solid blocking, as necessary, under all point loads indicated by roof truss layout.

When using wooden "I" joist system, manufacturer/ supplier shall provide size, spacing, layout and all construction details, and confirm beam and telepost size and locations with contractor/builder.

Where dimensional lumber is being used for floor joists, provide double joists under walls 6'-0" or longer running parallel to joists and under major appliances as shown. Provide 2 x 2 cross-bridging at max. 7'-0"

Refer to manufacturer/supplier for window and door specifications.

Where a discrepancy between drawings and builders specification exists, builders specification shall prevail.

All work shall be done according to National, Alberta and local building codes.

Drawings are not to be scaled.

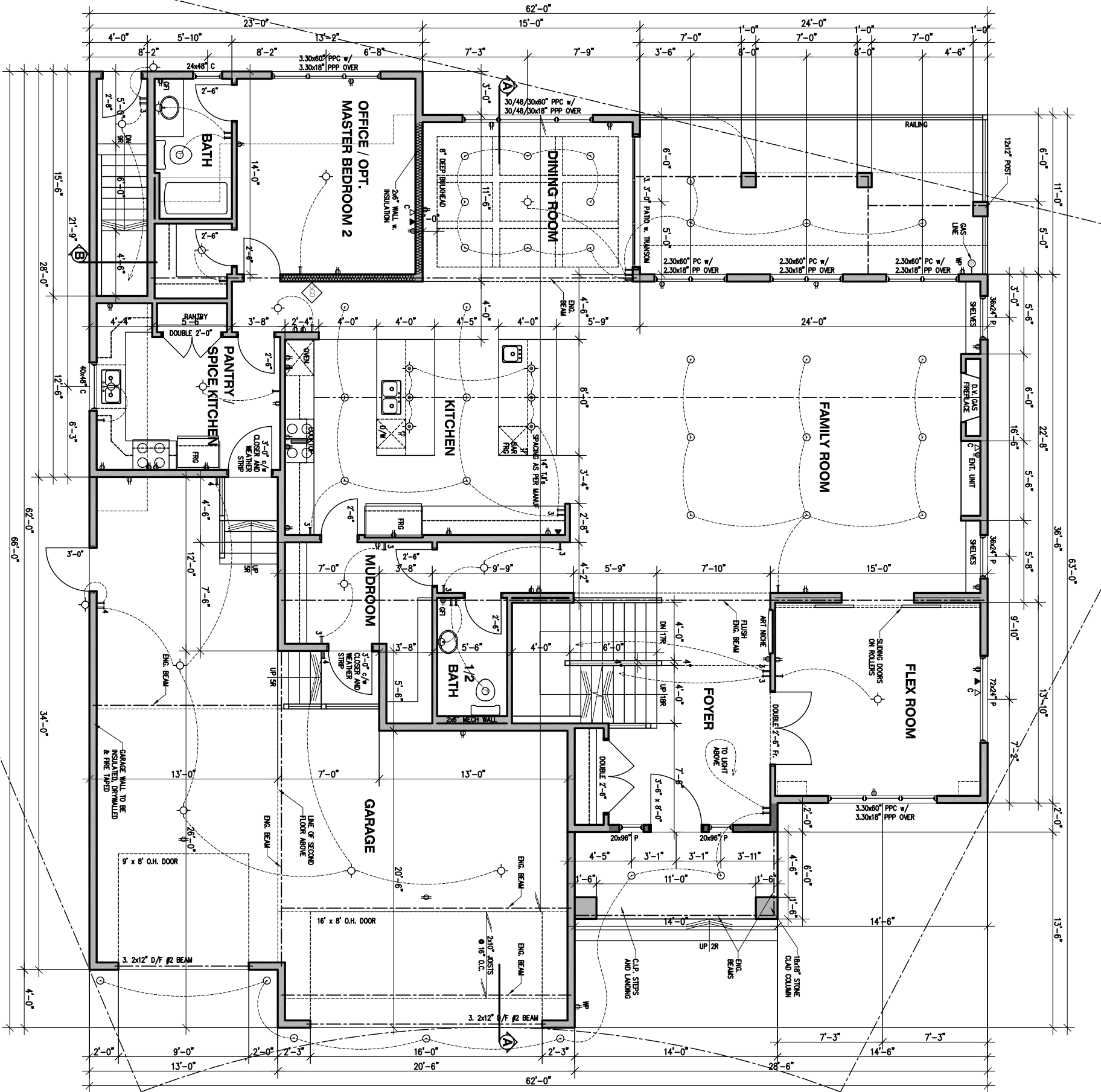
ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE	
CLIENT: SRAN RESIDENCE	
MODEL: CUSTOM TWO STOREY	
DRAWING: FOUNDATION PLAN	
euro design inc	
TEL: (780) 488-8834 FAX: (780) 488-8837 11266 119 STREET, EDMONTON, ALBERTA T5G 2X3 eurodesign@shaw.ca	
LOT/BLOCK: PLAN: 22 / 11 102-6123	JOB NO.: 5
DATE: Oct 9, 13	DRAWN BY: SHEET: DH 5
SCALE: NOTED	DESIGN BY: N/A

FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

DEVEL. AREA:

1938 Sq. Ft.



MAIN FLOOR PLAN

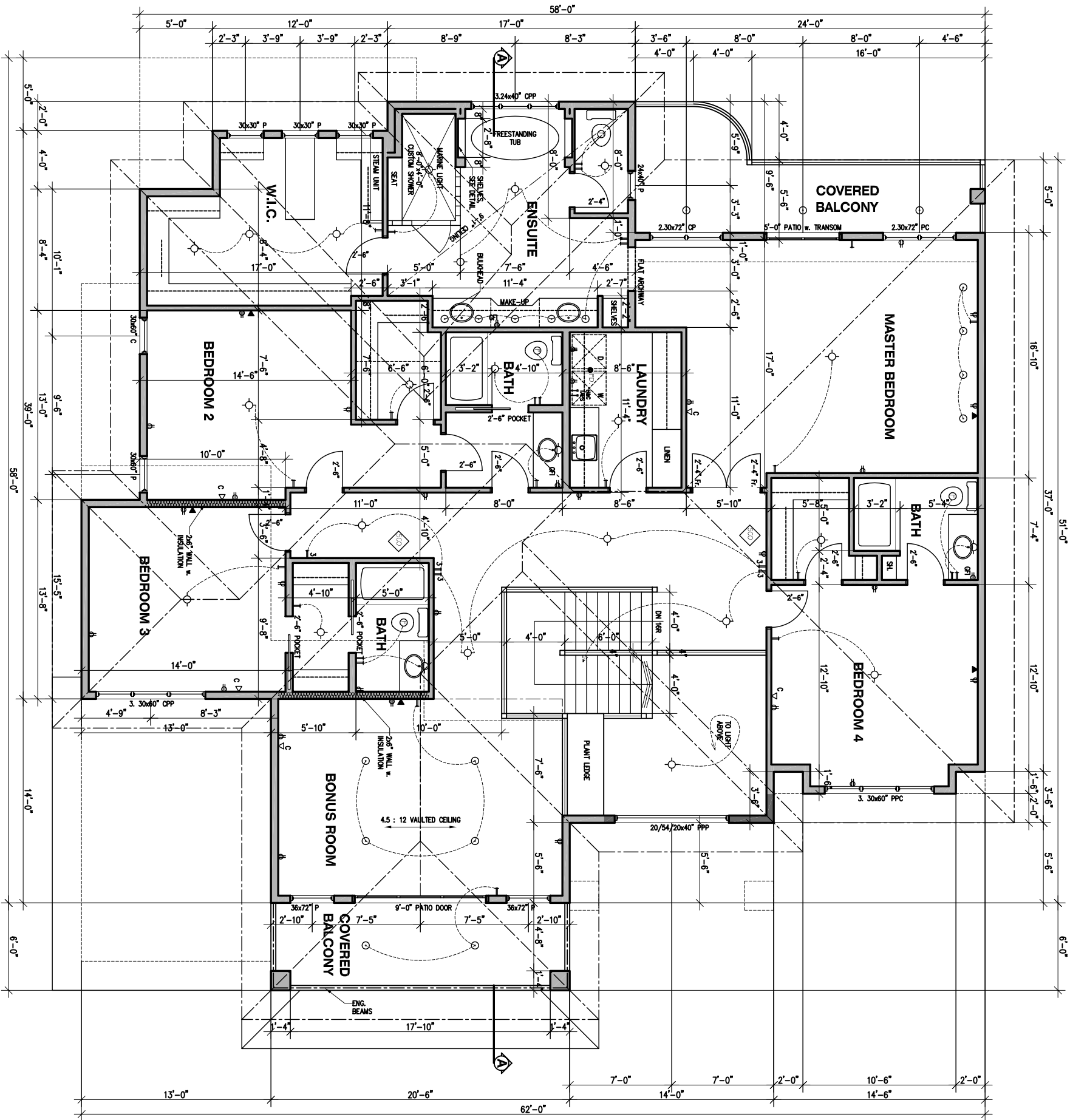
SCALE: 1/8" = 1'-0"

AREA: -HOUSE: 2348 Sq. Ft.
-GARAGE: 897 Sq. Ft.

NOTES:

- ALL DOORS ON MAIN FLOOR TO BE 8'-0" HIGH
- MAIN FLOOR WINDOWS TO BE FRAMED DOWN FROM 8'-0" U.N.O.

ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE			AREA: -MAIN: 2348 Sq. Ft. -SECOND: 2521 Sq. Ft. -TOTAL: 4869 Sq. Ft.		
CLIENT: SRAN RESIDENCE					
MODEL: CUSTOM TWO STOREY					
DRAWING: MAIN FLOOR PLAN					
euro design inc					
TEL: (780) 488-8834 FAX: (780) 488-8837 11266 119 STREET, EDMONTON, ALBERTA T5G 2X3 eurodesign@shaw.ca					
LOT/BLOCK:	PLAN:	JOB NO.:			
22 / 11	102-6123				
DATE:	DRAWN BY:	SHEET:			
Oct 9,13	DH	6			
SCALE:	DESIGN BY:				
NOTED	N/A	9			



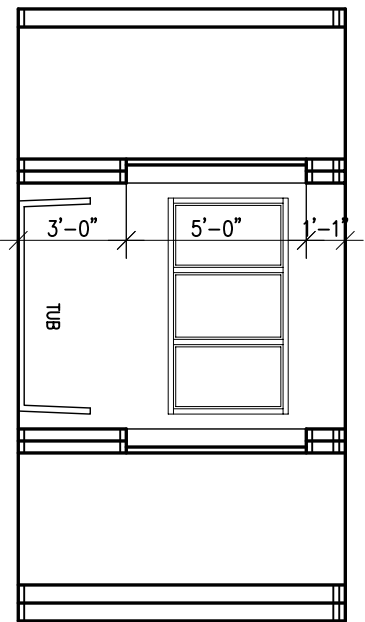
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

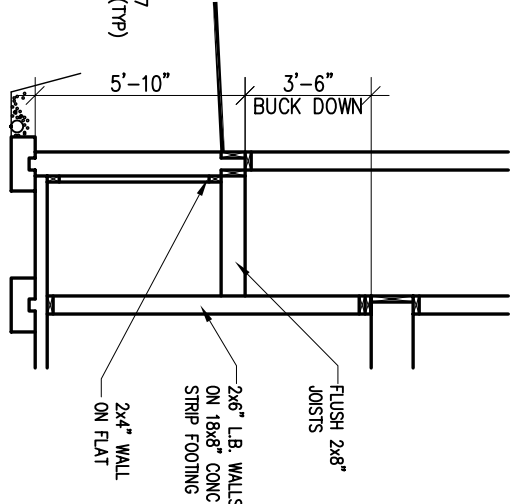
AREA: -HOUSE:

2521 Sq. Ft.

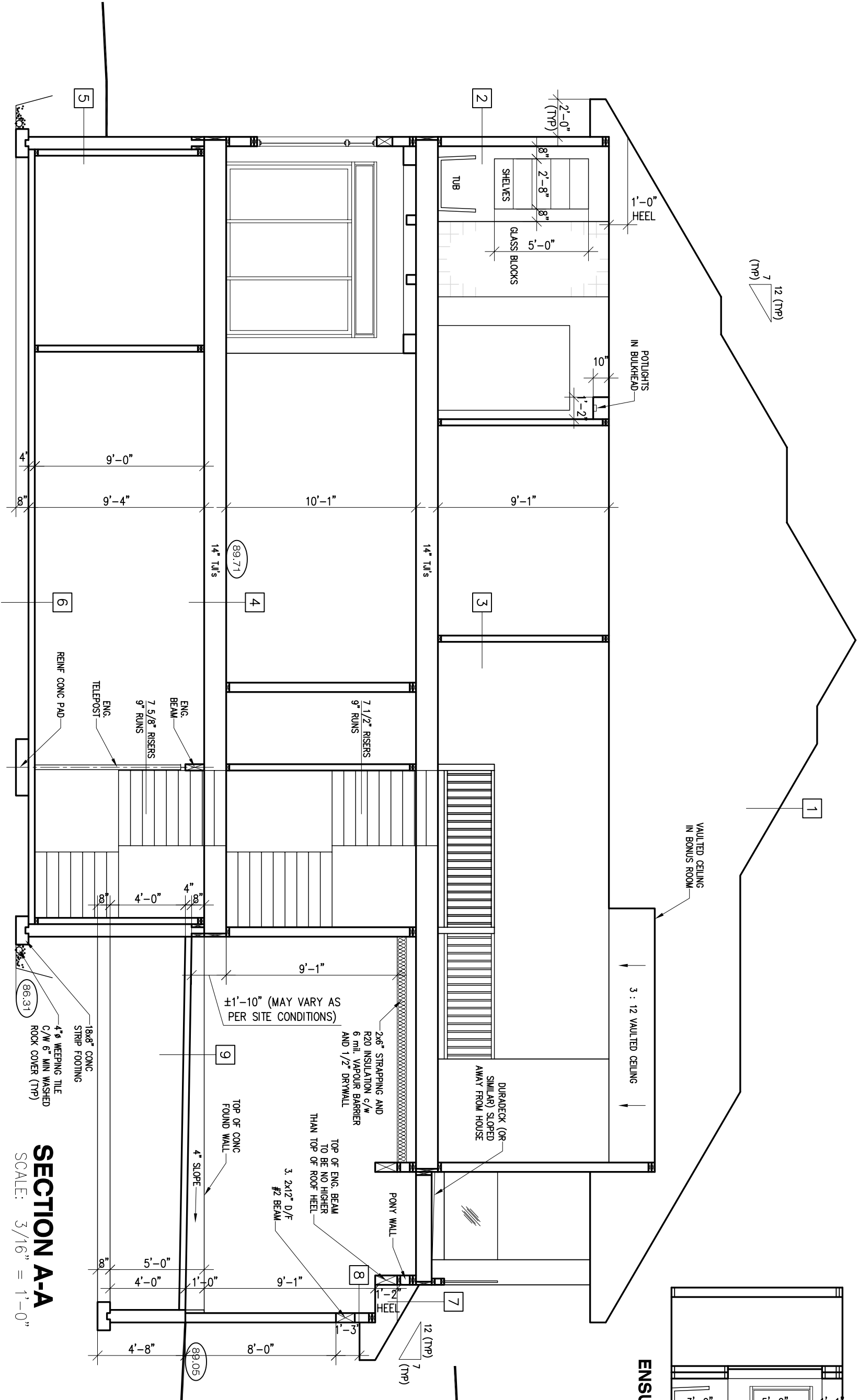
ADDRESS: 4315 WESTCLIFF LANDING UPPER WINDERMERE		CLIENT: SRAN RESIDENCE	
MODEL: CUSTOM TWO STOREY		DRAWING: SECOND FLOOR PLAN	
euro design inc			
TEL: (780) 488-6834 FAX: (780) 488-8837 11266 119 STREET, EDMONTON, ALBERTA T6G 2Y3 eurodesign@shaw.ca			
LOT/BLOCK: PLAN:	JOB NO.:		
22 / 11	102-6123		
DATE: Oct 9,13	DRAWN BY: DH	SHEET: 7	
SCALE:	DESIGN BY:		
NOTED	N/A	9	



ENSUITE DETAILS



SECTION B
SCALE: 3/16" = 1'-0"

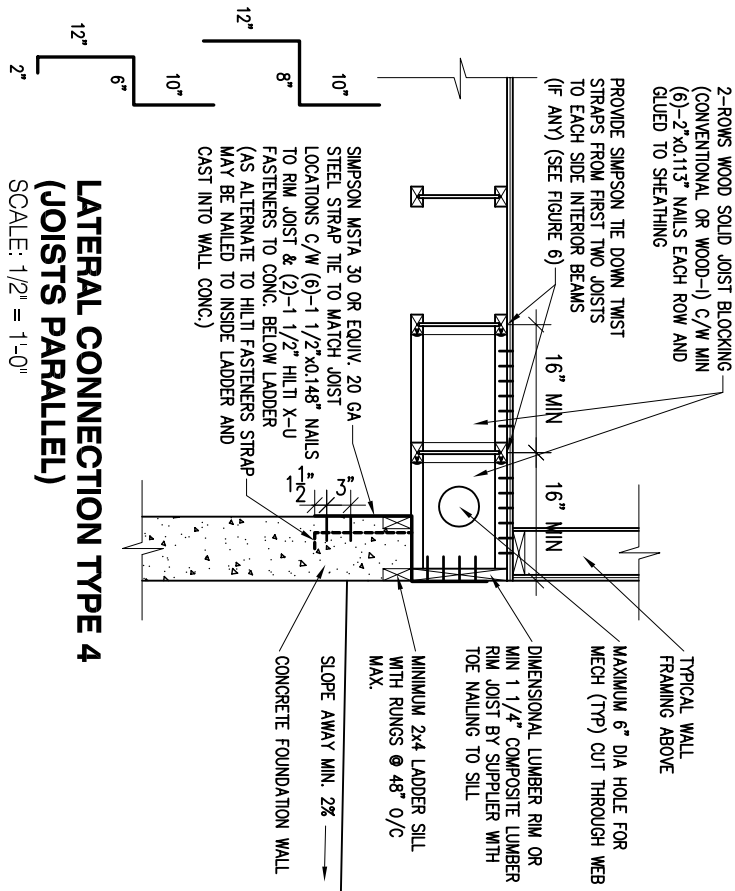


- General Specification
1. ROOF
 - finish as per elevation
 - 7/16" OSB w/ H-clips
 - roof trusses @ 24" o.c.
 - R-40 insulation
 - 6 mil. poly vapor barrier
 - 1/2" CD board on ceiling
 2. EXTERIOR WALLS
 - finish as per elevation
 - 3/8" OSB
 - 2x6" spruce studs @ 16" o.c.
 - R-20 insulation
 - 6 mil. poly vapor barrier
 - 1/2" drywall
 3. INTERIOR WALLS
 - 1/2" drywall
 - 2x4" or 2x6" studs @ 16" o.c. (as noted on on plan)
 - 1/2" drywall
 4. WOOD FLOORS
 - finish as per plan
 - 3/8" U-lay or similar under lino areas
 - 3/8" spruce plywood under tile areas
 - 23/32" T&G OSB
 - Tul's or similar - size and spacing as per manufacturer (solid blocking @ 24" o.c. for lateral support @ rim joist)
 - 1/2" CD board (second floor)
 5. FOUNDATION WALLS
 - tar damp proofing
 - 8" conc. wall w/ three double rows of rebar
 - 2x4" studs @ 16" o.c.
 - R-12 insulation
 - 6 mil. poly vapor barrier
 - rebar at angle each side of basement windows
 6. BASEMENT FLOOR
 - 4" conc. slab
 - 6 mil. poly vapor barrier
 - 6" granular fill
 7. GARAGE ROOF
 - finish as per elevation
 - 7/16" OSB w/ H-clips
 - roof trusses @ 24" o.c.
 - R-35 insulation
 - 6 mil. poly vapor barrier
 - 1/2" CD board
 8. GARAGE WALLS
 - finish as per elevation
 - 3/8" OSB
 - 2x4" studs @ 16" o.c.
 - R-12 insulation
 - 6 mil. poly vapor barrier
 - 1/2" drywall
 9. GARAGE FLOOR
 - 4" conc. slab w. wire mesh
 - 6 mil. poly vapor barrier
 - 8" min granular fill

ADDRESS:	4315 WESTCLIFF LANDING UPPER WINDERMERE
CLIENT:	SRAN RESIDENCE
MODEL:	CUSTOM TWO STOREY
DRAWING:	SECTIONS
DATE:	Oct 9,13
SCALE:	NOTED
LOT/BLOCK: PLAN:	JOB NO.:
22 / 11	102-6123
DATE:	DRAWN BY: SHEET:
Oct 9,13	DH
SCALE:	DESIGN BY:
NOTED	N/A
	8
	9

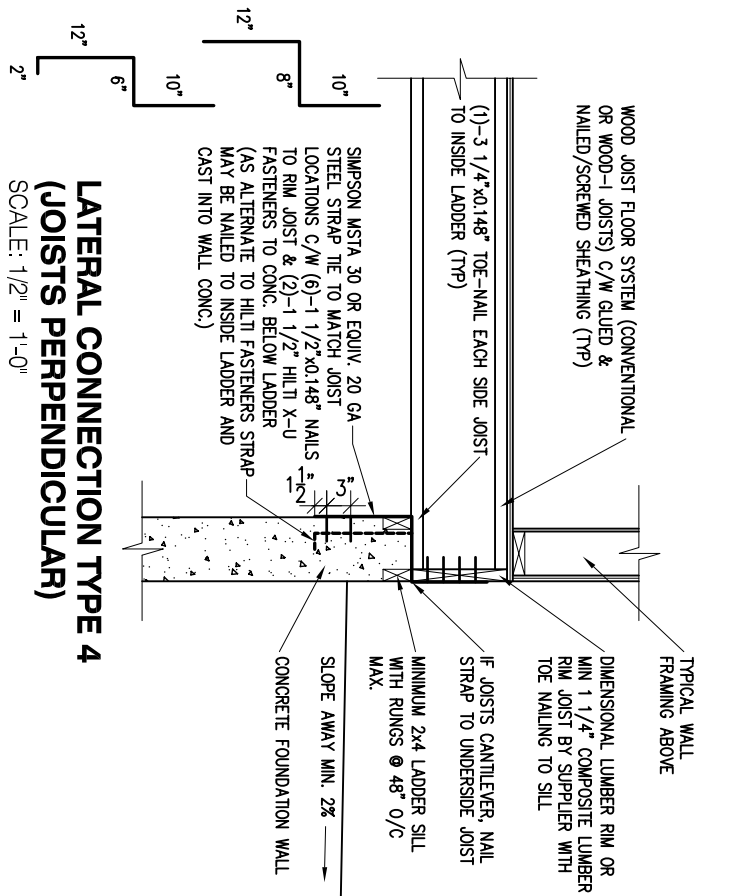
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design inc

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11268 119 STREET, EDMONTON, ALBERTA T5G 2X3
eurodesign@shaw.ca



LATERAL CONNECTION TYPE 4
(JOISTS PARALLEL)

SCALE: 1/2" = 1'-0"



LATERAL CONNECTION TYPE 4
(JOISTS PERPENDICULAR)

SCALE: 1/2" = 1'-0"

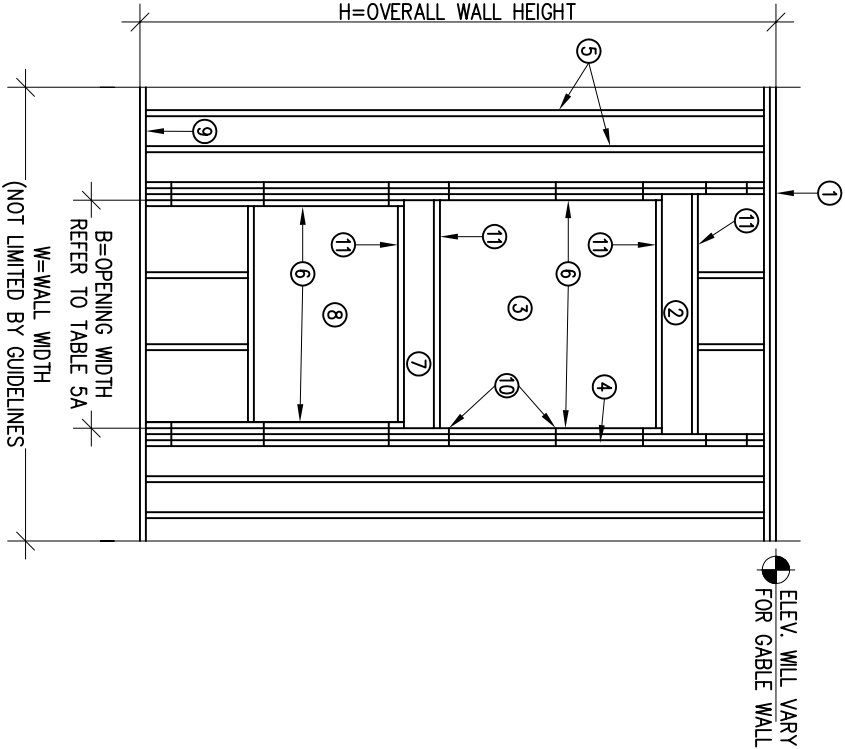
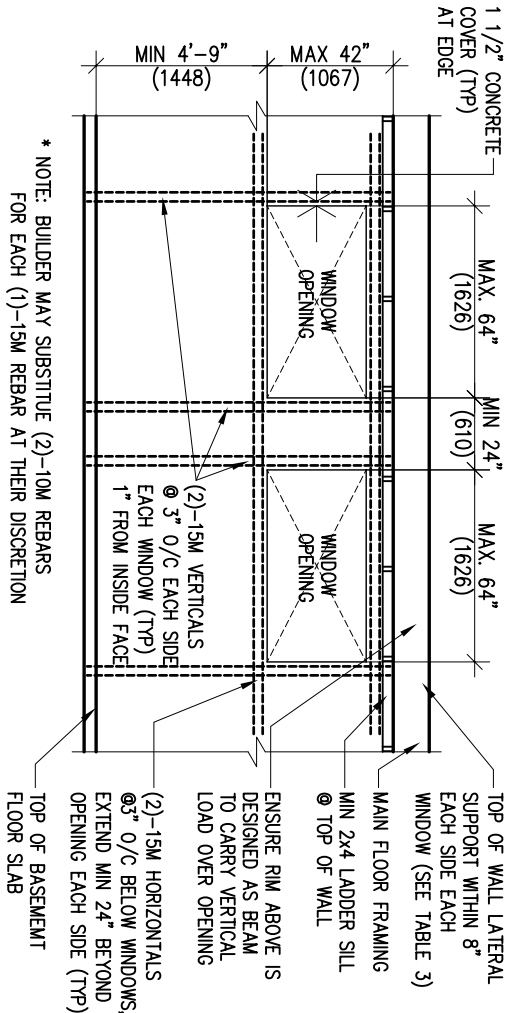


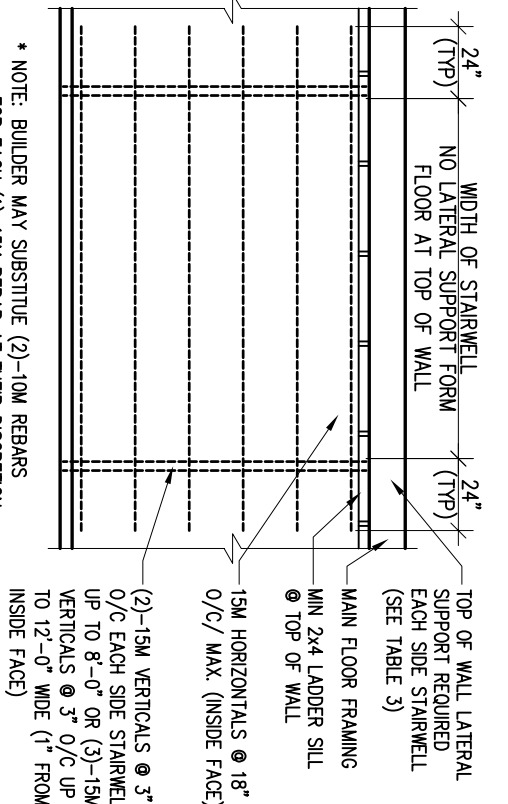
Figure X-FULL HEIGHT
Stud Wall framing

KEYNOTES FOR FIGURES X

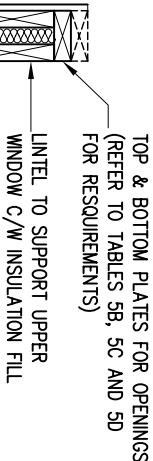
- 1 DOUBLE WALL TOP PLATES TO MATCH STUD SIZE
- 2 UPPER LUNTEL SUPPORTING ROOF LOAD SIZE AS PER PART 9 OF ABC 2006.
- 3 UPPER WALL OPENING (IF ANY). MAXIMUM SINGLE OPENING WIDTH IS LIMITED BY JAMB MEMBER REQUIREMENTS (TABLE 5A). SUM OF ALL OPENINGS IN WALL SHALL NOT EXCEED 75% OF THE WALL WIDTH. MAXIMUM HEIGHT OF OPENING IS 10'-0" PER WINDOW.
- 4 FULL HEIGHT JAMB MEMBERS EACH SIDE OF OPENING. REFER TO TABLE 5A FOR REQUIREMENTS.
- 5 FULL HEIGHT STUDS, 2x6" STUDS @ 12" O.C. MAXIMUM WALL HEIGHT 19'-9". PROVIDE BLOCKING AS REQUIRED BY CODE.
- 6 CRIPPLE STUDS TO U/S LUNTELS (IF ANY). FOR STACKED WALLS MATCH THROUGH TO BOTTOM PLATE.
- 7 LOWER LUNTEL FOR UPPER WINDOW SUPPORT.
- 8 LOWER OPENING (IF ANY). MAXIMUM HEIGHT OF OPENING IS 10'-0".
- 9 SINGLE WALL BOTTOM PLATE TO MATCH STUD SIZE.
- 10 (2)-1/2" DIAMETER THRU-BOLTS 3" ABOVE OR BELOW EACH HORIZONTAL PLATE LOCATION, 6" FROM TOP AND BOTTOM, AND AT MAXIMUM 48" O.C. (TYPICAL).
- 11 PLATES FOR OPENINGS. REFER TO TABLES 5B, 5C AND 5D FOR REQUIREMENTS. MAXIMUM TRIBUTARY HEIGHT IS 5'-6" (IE. MAXIMUM 10'-0" HIGHT STUDS OR OPENINGS).



ADDITIONAL REINFORCEMENT AT WINDOWS

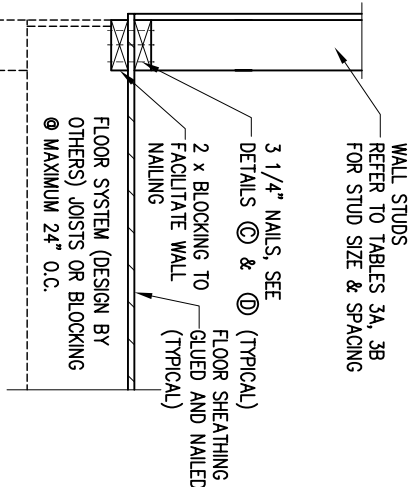


ADDITIONAL REINFORCEMENT AT STAIRWELLS



LUNTEL SIZE	MAXIMUM OPENING WIDTH
(2)-PLY 2 x 4	≤ 6' - 0"
(2)-PLY 2 x 6	≤ 9' - 0"
(2)-PLY 2 x 8	≤ 12' - 0"

SECTION @ LUNTEL



SECTION @ BOTTOM

TABLE 5A-MAXIMUM OPENING WIDTHS "b" FOR STUD WALLS			
Stud Spacing	2 - Pies	3 - Pies	4 - Pies
12"	36"	60"	84"

ADDRESS:
4315 WESTCLIFF LANDING
UPPER WINDERMERE

CLIENT:
SRAN RESIDENCE

MODEL:
CUSTOM
TWO STOREY

DRAWING:
DETAILS

euro design inc

TEL: (780) 488-8834 FAX: (780) 488-8837
11266 119 STREET, EDMONTON, ALBERTA T5G 2X3
eurodesign@shaw.ca

LOT/BLOCK: PLAN:
22 / 11
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DATE:
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DH

SCALE:
NOTED

JOB NO.:
9

DRAWN BY:
DESIGN BY:

SHEET:
9