

CONTRACTOR SHALL REVIEW AND COMPARE THE CONSTRUCTION DOCUMENTS AND REPORT TO RDP PRIOR TO SUBMISSION OF FINAL BID ANY ERROR, INCONSISTENCY, OR OMISSION HE MAY DISCOVER.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PRIOR TO SUBMISSION OF PROPOSALS TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SCOPE OF THE WORK AND NOTIFY RDP IN WRITING OF ANY VARIATIONS OR DISCREPANCIES PRIOR TO BEGINNING OF CONSTRUCTION. NO WORK INVOLVING DISCREPANCIES SHALL PROCEED UNTIL APPROVED BY RDP. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR THAT CONDITIONS ARE CORRECT AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY. THE SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT AND/OR MATERIAL REQUIRED, WILL NOT BE RECOGNIZED.

3. CONTRACTOR, UPON APPROVAL OF CONSTRUCTION PRICING, SHALL PREPARE AND SUBMIT FOR THE TENANT'S INFORMATION AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS.

4. CONTRACTOR SHALL MAINTAIN AT THE SITE, ONE RECORD COPY OF ALL DRAWINGS, ADDENDA, SPECIFICATIONS, SAMPLES AND MODIFICATIONS, CURRENTLY MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION.

A. CONTRACTOR SHALL REVIEW (RED-LINE IF NECESSARY), APPROVE AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR IN THE WORK OF THE TENANT OR ANY SEPARATE CONTRACTOR, ALL PRODUCT DATA AND SAMPLES REQUIRED.

B. APPROVAL AND SUBMITTAL OF PRODUCT DATA AND/OR SAMPLES, REPRESENTS THAT CONTRACTOR HAS VERIFIED ALL MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA OR WILL DO SO, AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTAL WITH THE REQUIREMENTS OF THE WORK AND OF THE CONSTRUCTION DOCUMENTS.

C. CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS UNLESS CONTRACTOR HAS SPECIFICALLY INFORMED THE TENANT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS.

D. CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION, IN WRITING OR ON RE-SUBMITTED PRODUCT DATA OR SAMPLES, TO REVISIONS OTHER THAN THOSE REQUESTED BY RDP.

E. NO PORTION OF THE WORK REQUIRING SUBMISSION OF PRODUCT DATA OR SAMPLES SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN REVIEWED BY RDP. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SUBMITTAL.

F. PROVIDE THREE (3) SUBMITTALS OF ALL FINISH SAMPLES WITHIN FIRST WEEK OF PROJECT START DATE. SAMPLES SUBMITTED SHALL BE NO LESS THAN A 12"x12" SAMPLE OF ACTUAL GOODS RESERVED FOR INSTALLATION ON THIS PROJECT.

G. CONTRACTOR SHALL DISTRIBUTE REQUIRED SAMPLES AS NECESSARY TO ALL SUBCONTRACTORS.

H. ANY SUBMITTALS WHICH DO NOT BEAR CONTRACTOR'S APPROVAL STAMP SHALL BE RETURNED WITHOUT REVIEW. CLEARLY IDENTIFY PRODUCTS OR MODELS WHICH ARE TO BE SUBMITTED FOR APPROVAL.

J. EACH SUBMITTAL SHALL BE CLEARLY IDENTIFIED WITH THE MANUFACTURER'S NAME, THE CONTRACTOR'S NAME, THE SUBCONTRACTOR'S NAME AND TELE. NUMBER THE NAME OF THE PROJECT AND THE DATE OF SUBMISSION.

K. CONTRACTOR SHALL MAKE ANY CORRECTIONS NOTED ON TENANT'S REVIEWED SUBMITTAL AND SHALL RE-SUBMIT CORRECTED SUBMITTAL AS REQUIRED.

L. APPROVAL OF SAMPLES OR PRODUCT DATA WHICH DEVIATES FROM THE CONSTRUCTION DOCUMENTS DOES NOT AUTHORIZE CHANGES TO THE CONTRACT SUM. SUBMIT IN WRITING AT THE TIME OF SUBMISSION ANY CHANGES TO THE CONTRACT SUM AND COMPLETION DATE AFFECTED BY SUCH SAMPLES OR PRODUCT DATA, OTHERWISE, CLAIM FOR EXTRAS WILL NOT BE GRANTED.

M. THE CONTRACTOR, IMMEDIATELY UPON APPROVAL OF CONSTRUCTION PRICING, SHALL PREPARE AND SUBMIT FOR TENANT'S INFORMATION, A SCHEDULE OF ALL SUBMITTALS OF PRODUCT DATA AND SAMPLES.

5. CONTRACTOR TO SCHEDULE AND COORDINATE ALL DOCUMENTS SUPPLIED BY RDP AND ALL OTHER CONSULTANTS AND TENANT'S SUPPLIERS (I.E. FLOORCOVERING, TELEPHONE, COMPUTER, SECURITY, ETC.). REFER TO CONSULTANTS' DRAWINGS (IF APPLICABLE) FOR INFORMATION PERTAINING TO HVAC SYSTEM, FIRE PROTECTION SYSTEMS, SECURITY SYSTEMS, SPECIAL ELECTRICAL REQUIREMENTS, ETC. CONSULTANT DRAWINGS ISSUED AFTER RDP'S DATE OF ISSUE SHALL BE REVIEWED BY RDP AND TENANT FOR AESTHETIC CONSIDERATIONS. EACH CONSULTING FIRM SHALL BE RESPONSIBLE FOR THE COMPLETE ENGINEERING, SPECIFICATIONS AND OPERATION OF THE SYSTEM IT DESIGNS.

6. TENANT MATERIALS/FINISHES, SPECIFIED OR NOT, SHALL BE SUBMITTED AND APPROVED BY RDP AND TENANT PRIOR TO APPLICATION.

7. CONTRACTOR TO PROPOSE AVAILABLE ALTERNATES AND PRICING FOR ITEMS REQUIRING EXTENDED LEAD TIME PREVENTING COMPLETED INSTALLATION BY PROJECTED MOVE-IN DATE. DURING BID PERIOD OR FIRST WEEK OF CONSTRUCTION.

- CONTRACTOR AND ALL SUBCONTRACTORS TO CLEAN ALL AREAS DURING AND AFTER CONSTRUCTION AND MAKE READY FOR THE FOLLOWING TRADES.
10. PARTITION CONSTRUCTION DIMENSIONS ARE FROM INSIDE FACE OF GLASS MULLION OR FACE OF FINISHED PARTITION BELOW GLASS TO INSIDE FINISHED FACE OF INTERIOR PARTITION, AND FROM INSIDE FACE TO INSIDE FACE OF FINISHED PARTITION, UNLESS OTHERWISE NOTED.
11. DATA/ELECTRICAL OUTLETS CAN BE SCALED UNLESS OTHERWISE NOTED OR DIMENSIONED. ALL RECEPTABLES - EXISTING AND NEW SHALL BE SQUARE AND LEVEL. NO EXCEPTIONS.
12. IF DISCREPANCIES ARE DISCOVERED BETWEEN DRAWINGS AND SITE CONDITIONS, R/DF SHALL BE NOTIFIED AT LEASE (2) DAYS IN ADVANCE OF REVIEW OF DOUBLE CHALK LINES PRIOR TO WALL CONSTRUCTION.
13. CONTRACTOR SHALL NOTIFY R/DF OF ANY CONFLICT BETWEEN THE DRAWINGS AND GOVERNING CODES PRIOR TO BEGINNING CONSTRUCTION.
14. PLANS ARE DRAWN TO SCALE AS NOTED, BUT SHOULD NOT BE SCALED TO DETERMINE WALL/MILLWORK DIMENSIONS OR LOCATIONS OF SWITCHES (MAX. 6" FROM INSIDE OF DOOR JAMB).
15. IT SHALL BE THE CONTRACTOR'S FIRE PROTECTION SUB-CONTRACTOR'S RESPONSIBILITY TO VERIFY REQUIREMENTS AND QUANTITY OF FIRE PROTECTION DEVICES INCLUDING SMOKE DETECTORS, FIRE ALARMS, ALARM SPEAKERS, EXIT SIGNAGE, ETC.
16. CONTRACTOR SHALL COORDINATE ALL WORK TO ALLOW ACCESSIBILITY AND USE OF ALL ADJACENT SPACE.
17. IF APPLICABLE FOR THIS BUILDING, CONTRACTOR SHALL VERIFY REQUIREMENT, AND PROVIDE FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS AS NECESSARY TO MEET LIFE SAFETY CODES. LOCATIONS OF THESE CABINETS ARE TO BE APPROVED BY R/DF PRIOR TO INSTALLATION. (CABINETS TO BE PAINTED LATEX ENAMEL TO MATCH WALL COLOR.)
18. EACH TRADE SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK IN THE LEASE SPACE, COMMON CORRIDORS, RESTROOMS AND ELEVATOR LOBBY AND GENERAL PUBLIC AREAS. CLEAN EVERYDAY.
19. IF APPLICABLE ALL PUBLIC CORRIDOR FINISHES/MATERIALS TO BE EXTENDED AT RECESSED ENTRIES. (VERIFY AND COORD. THIS WORK WITH PROPERTY MANAGER)
20. CONTRACTOR TO PROVIDE ADDITIONAL CODE COMPLIANT ANCHORING AND/OR FIRE-RATED BLOCKING IN STUD PARTITIONS AS REQUIRED FOR CABINETS, GRAB BARS, ETC.
21. CONTRACTOR SHALL FLASH PATCH AREAS WHERE FLOOR IS IRREGULAR, CRACKED OR DAMAGED PRIOR TO INSTALLATION OF FLOORING, AND IS TO REMOVE ALL OBSTRUCTIONS.
22. IF APPLICABLE PUBLIC CORRIDORS AND REQUIRED FIRE EXIT WAYS SHALL BE CONSTRUCTED WITH FIRE RATINGS AS REQUIRED BY ALL GOVERNMENT AND APPLICABLE CODES. FIELD VERIFY CONDITION PRIOR TO SUBMITTING YOUR BID PROPOSAL.
23. PROVIDE END CAP AND SOUNDPROOF CLOSURE STRIPS/GASKETS WHERE PARTITIONS TERMINATE AT WINDOWS.
24. ALL "MATCH EXISTING" SHALL BE BUILDING STANDARD AND "FOR TO MATCH EXISTING" UNLESS DETAILED OR NOTED OTHERWISE. IDENTIFY ITEMS AND CONTACT R/DF PRIOR FOR APPROVAL PRIOR TO ORDERING MATERIAL.
25. ALL PARTITION RETURNS SHALL HAVE METAL CORNER BEADS FLOOR TO CEILING. ALL EXPOSED SHEETROCK EDGES SHALL HAVE METAL "L" BEADS FLOOR TO CEILING.
26. CONTRACTOR SHALL INSTALL (IF APPLICABLE) 3/4" PLYWOOD BACKBOARD FOR TELEPHONE EQUIPMENT WHICH SHALL BE PAINTED TO MATCH ADJACENT WALL. PLYWOOD SHALL BE SMOOTH, SQUARE WITH EDGES FILLED AND SANDED TO A FINISH WITH TOP OF PLYWOOD AT CEILING LINE, UNLESS NOTED OTHERWISE. (IF APPLICABLE)
27. WHEN REQUIRED, FURR OUT CORE & FIRE RATED WALLS AND COLUMNS AT ALL LOCATIONS WHERE ELECTRICAL, TELEPHONE OR PLUMBING OCCUR.
28. NEW PARTITION CONSTRUCTION MEETING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINT.
29. CONTRACTOR SHALL VERIFY AND COORDINATE KEYING SYSTEM WITH PROPERTY MANAGEMENT AND TENANT.
30. WALL ANGLES ARE EITHER 90 DEGREES OR 45 DEGREES UNLESS NOTED OTHERWISE.
31. CONTRACTOR AND SUBS SHALL FIELD VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND OPENINGS BEFORE CONSTRUCTION. NOTIFY R/DF AND ENGINEER OF DISCREPANCIES PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY AND LOCK DOWN OF TENANT AND OWNER-FURNISHED EQUIPMENT AND PREPARE ALL SURFACES ACCORDINGLY.
32. STRUCTURAL LOADING AT FLOORS AND ROOF SHALL BE CHECKED BY OWNERS' APPROVED CONSULTANT AND VERIFICATION SUBMITTED TO OWNER IN WRITING WHEN INDICATED.
33. VERIFY FLOOR PENETRATIONS WITH STRUCTURAL ENGINEER AND OWNER PRIOR TO COMMENCEMENT. ALL PENETRATIONS TO BE SEALED PER APPLICABLE CODE.
34. ANY PENETRATIONS IN SOUND INSULATED PORTIONS OF PIPES, DUCTS OR OTHER ELEMENTS ARE TO BE SEALED TO PREVENT SOUND TRANSMISSION.

36. CONFLICTS BETWEEN THE MEP DRAWINGS (IF APPLICABLE) AND THE CONTRACT DOCUMENTS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF RDF A MINIMUM OF 24 HRS. PRIOR TO BID DATE.
37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING APPLICATIONS AND PERMITS OF ALL PHASES OF THE WORK AS REQUIRED BY FEDERAL, STATE, COUNTY AND MUNICIPAL LAW.
38. FIELD VERIFICATION IS REQUIRED BY ALL TRADES AND SUBCONTRACTORS PRIOR TO BID DATE.
39. RDF IS NOT RESPONSIBLE FOR DELIVERY DATES, PRODUCT AVAILABILITIES OR DISCONTINUATIONS. (CONTRACTOR TO SUBMIT IN WRITING TO TENANT AVAILABILITY AND LEAD TIMES FOR ALL ITEMS AFTER AWARD OF CONTRACT OR NO LATER THAN (5) FIVE WORKING DAYS AFTER START OF CONSTRUCTION, WHICHEVER COMES FIRST)
40. CONTRACTOR IS TO SUPPLY AND INSTALL CORRIDOR DOOR SMOKE SEALS AS REQUIRED BY LOCAL INSPECTORS.
41. ITEMS NOT NOTED ABOVE OR NOT CLEARLY NOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO RDF FOR REVIEW AND APPROVAL.
42. PLUS OR MINUS (±) DIMENSIONS FOR WALL CONSTRUCTION SHALL NOT VARY BY MORE THAN 2" WITHOUT APPROVAL BY RDF.
43. CONTRACTOR SHALL VERIFY CONDITIONS AND IMMEDIATELY NOTIFY RDF WHICH WOULD ADVERSELY AFFECT LIFE SAFETY ISSUES, INCLUDING STRUCTURAL BRACING/REINFORCING, IN FLOORS, WALLS, CABINETS, CEILINGS AND ELECTRICAL. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE IF THE WORK IS PERFORMED WITHOUT PRIOR WRITTEN NOTIFICATION TO RDF AND TENANT.
44. ALL NEW AND EXISTING JBOXES AND COVERPLATES FOR ELEC. & DATA OUTLETS, AND SWITCHES SHALL BE SQUARE, PLUMB AND LEVEL. NO EXCEPTIONS.
45. ALL LAMPS (NEW AND EXSTG) SHALL BE THE SAME KELVIN TEMP. NO EXCEPTIONS.
46. UNDERCUT FOR ALL NEW DOORS SHALL NOT EXCEED 3/8".
47. PROVIDE PEMKO UNDERMOUNT AUTO DOOR SWEEP AT LARGE GAP (EXCEEDING 1/2") AT BOTTOM OF EXISTING DOORS.
48. CONTRACTOR AND HIS ELECTRICIAN SHALL VERIFY AND CONFIRM LOCATION AND HEIGHT OF ELEC. AND DATA/TELE AT ALL CABINETS AND FOR WALL MOUNTED TVs AND FIXTURES.
49. REPAIR DAMAGE AND/OR FILL HOLES AND PAINT "LIKE NEW", EXTERIOR ALUMINUM WINDOW WALL SILLS AND MULLIONS.

SYMBOL MODIFIERS (NOT ALL SYMBOLS USED)	PARTITION (NOT ALL SYMBOLS USED)
ADA AMERICAN DISABILITY ACT	EXISTING WALL TO REMAIN
AFF ABOVE FINISHED FLOOR	NEW WALL - 3-5/8" MTL. STUD, 24" O.C., WITH 5/8" F.R., TYPE X, GYP. BRD. BOTH SIDES
AHU AIR HANDLING UNIT	NEW WALL - 2-1/2" MTL. STUD, 24" O.C., WITH 5/8" F.R., TYPE X, GYP. BRD. BOTH SIDES
ALT ALTERNATE	NEW INTERIOR WALL WITH INSULATION IN WALL - SOUND BREAK GYP. WALL (ONE SIDE)
BLDG BUILDING	NEW FLOOR TO DECK WALL WITH INSULATION - SEAL AT TOP AND BOTTOM
BS BUILDING STANDARD	
CA CONTROLLED ACCESS	
CCTV CLOSED CIRCUIT TV	
CFM CUBIC FEET PER MINUTE	
CL CENTER LINE	
CLG CEILING	
COL COLUMN	
CPT CARPET	
CT CERAMIC TILE	
CW COLD WATER LINE	
DC DEDICATED CIRCUIT	
DIA DIAMETER	
DN DOWN	
DW DISHWASHER	
DWG DRAWING	
EXIST EXISTING	
EA EACH	
ELEC ELECTRICAL	
ELEV ELEVATOR	
EMT ELECTRIC METALLIC CONDUIT	
EQ EQUAL	
EWC ELECTRIC WATER COOLER	
EXH EXHAUST	
FA FIRE ALARM	
FACP FIRE ALARM CONTROL PANEL	
FCU FAN COIL UNIT	
FD FLOOR DRAIN	
FE FIRE EXTINGUISHER	
FEC FIRE EXTINGUISHER CABINET	
FHC FIRE HOSE CABINET	
FIELD VERIFY	
GA GAUGE	
GFI GROUND FAULT INTERRUPTER CIRCUIT	
HB HOSE BIB	
HP HORSEPOWER	
HR HOUR	
HTR HEATER	
HVAC HEATING VENTILATION AND AIR CONDITIONING	
HZ HERTZ-FREQUENCY IN CYCLE PER SECOND	
ICE ICE MAKER	
IN INCHES	
JB JUNCTION BOX	
KV KILOVOLTS (THOUSAND VOLTS)	
KVA KILOVOLTS - AMPS (THOUSAND VOLTS - AMPS)	
KW KILOWATT (THOUSAND WATTS)	
KWH KILOWATT HOUR	
LAV LAVATORY	
LBS POUNDS	
LL LEVELLOAD	
LTG LIGHTING	
LTS LIGHTS	
LVT LUXURY VINYL TILE	
MAX MAXIMUM	
MCB MAIN CIRCUIT BREAKER	
MCH MECHANICAL	
MFR MANUFACTURER	
MICRO MICROWAVE	
MIN MINIMUM	
MISC MISCELLANEOUS	
MTD MOUNTED	
MTG MOUNTING	
NA NOT APPLICABLE	
NEC NATIONAL ELECTRICAL CODE	
NIC NOT IN CONTRACT	
NTS NOT TO SCALE	
OC ON CENTER	
OFCI OWNER FURNISHED, CONTRACTOR INSTALLED	
OFOW OWNER FURNISHED, OWNER INSTALLED	
OH OVERHEAD	
OPP OPPOSITE	
PH PHASE	
PLAM PLASTIC LAMINATE	
PNL PANEL BOARD	
PSI POUNDS PER SQUARE INCH	
PVC POLYVINYL CHLORIDE	
PWR POWER	
QTY QUANTITY	
R RELOCATE AS SHOWN	
R/A RETURN AIR	
RECEPT RECEPTACLE	
REF REFER TO	
REQ REQUIRED	
REFRG REFRIGERATOR	
RD ROOF DRAIN	
RTU ROOF TOP UNIT	
SA SUPPLY AIR	
SF SQUARE FOOT	
SIM SIMILAR	
SPECS SPECIFICATIONS	
SO SQUARE	
S/S STAINLESS STEEL	
SW SWITCH	
SYM SYMMETRICAL	
TAS TEXAS ACCESSIBILITY STANDS	
TC TIME CLOCK	
TEL TELEPHONE	
TEMP TEMPERATURE	
TSTAT THERMOSTAT	
TV TELEVISION	
TYP TYPICAL	
U/C UNDERCABINET	
UL UNDERWRITERS LABORATORY	
UNO UNLESS NOTED OTHERWISE	
UPS UNINTERRUPTED POWER SUPPLY	
V VOLTS	
VAV VARIABLE AIR VOLUME	

## DESIGN DOCUMENTS

A.00	COVER AND PROJECT INFORMATION
A.01	ACCESSIBILITY GUIDELINES
A.02	ACCESSIBILITY GUIDELINES
A.03	FLOOR PLANS – PARTITION & POWER/COMM
A.04	FLOOR PLANS – LIGHTING & FINISH
A.05	INTERIOR ELEVATIONS
A.06	INTERIOR ELEVATIONS
A.07	INTERIOR ELEVATIONS AND CABINET SPECS

INTERIOR TENANT IMPROVEMENTS

LOCAL AUTHORITY HAVING JURISDICTION  
CITY OF FORT WORTH

APPLICABLE CODES

2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 NATIONAL ELECTRICAL CODE  
2015 INTERNATIONAL FIRE CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE

ALL BUILDING CODES AND AMENDMENTS

CODE REQUIREMENTS

OCCUPANCY GROUP TYPE: B-2

CONSTRUCTION TYPE: II-B, FULLY SPRINKLERED

(IN YOUR CONSTRUCTION BID, BREAK OUT MATERIAL QTY., AND COST, LABOR COSTS, OH, PROFIT, AND SALES TAX FOR EACH ITEM BELOW)

1. ADD ALTERNATE -- PROVIDE SMART GLASS/PDLC GLASS OR SWITCHABLE GLASS AT NEW EAST SIDE CONFERENCE ROOM GLASS DOORS
2. DEDUCT ALTERNATE -- AT CONFER G103, NORTH WALL - GL SEAMAN DIRTT GLASS WALL SYSTEM WITH CONCEALED TV DISPLAY IN LIEU OF STEEL GRAY OAK WALL PANELING
3. DEDUCT ALTERNATE -- AT CONFER G103, SOUTH WALL - GL SEAMAN DIRTT GLASS WALL SYSTEM WITH CONCEALED TV DISPLAY IN LIEU OF STEEL GRAY OAK WALL PANELING
- ADD ALTERNATE -- CONFER G102 & G103  
ACOUSTICAL PLASTER CEILING--STARSTILEN BY PYROK:  
<https://www.starstilen.com/the-starstilen-system/>
- We have different thicknesses of a sound absorbing substrate that can (and should) replace gypsum board for better sound absorption. We recommend the 25 mm board (1"). Sound absorption is further increased if insulation is laid on top of the system or attached to the underside of the deck above. There are also different finishes such as smooth, Superfine, etc. The Smooth finish is best in terms of sound absorption. Contact Andrea Savelle at Pyrok for information about StarStilen. He handles this part of the country. Andrea's mobile number is (914) 841-3877 and his e-mail is [andrew@pyrok.com](mailto:andrew@pyrok.com).

A detailed floor plan of Suite D. The plan shows various rooms, corridors, and service areas. A specific area is highlighted with a shaded gray fill and labeled 'AREA OF WORK' with a leader line. The label 'SUITE D' is positioned at the top left of the plan.

MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN OR SPECIFIED ARE MINIMUM REQUIREMENTS FOR PERFORMANCE STANDARDS. LOCAL JURISDICTIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL LOCAL AND STATE REQUIREMENTS FOR PERFORMANCE STANDARDS, PRIOR TO SUBMITTING BID. ALL CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE TENANTS ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK (LOCAL REQUIREMENTS VERSUS SPECIFIED REQUIREMENTS) SHALL BE INCLUDED IN THE BID.

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## Issues

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PERMIT NO.  
PB19-x

FOR CONSTRUCTION  
11-11-2019

TDLR Registration No. TABS\_2020005125

RDF Proj. No.  
19\_0515

Sheet Name

COVER SHEET AND  
PROJECT INFORMATION

Scale  
1/8" = 1'-0"  
U.N.O.

Sheet No. A.00



A. Grab Bars shall be mounted 33" - 36" above the floor.  
Refer to 4.26 Grab Bars for size and structural requirements.



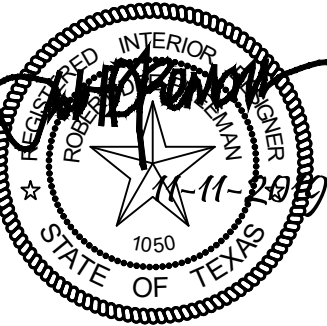
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EXPANSION

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ISSUES

△ x

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TABS\_2020005125

RDF Proj. No.

19\_0515

Sheet Name

FLOOR PLANS, NOTES,  
DOOR AND WALL TYPES

Scale

1/8" = 1'-0"

U.N.O.

Sheet No.

A.03



PLAN NORTH

RDF 2019

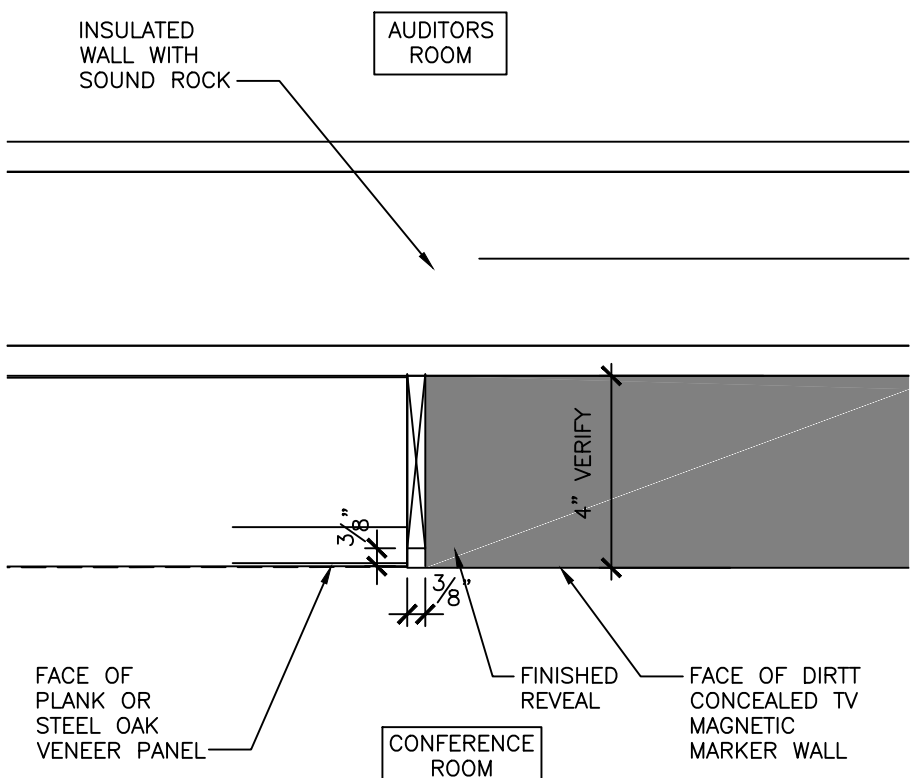
PARTITION PLAN NOTES

- NOTE:
1. G.C. SHALL PROVIDE CHALK LINES FOR WALLS, MARKINGS FOR ELEC/DATA, AND PLUMBING, FOR REVIEW WITH RDF PRIOR TO SECURING METAL FLOOR TRACKS, AND ROUGHING IN.
  2. REPLACE SOLAR FILM ON WINDOWS WHERE DAMAGED AND DISCOLORED FILM.
  3. INSTALL 5/8" SOUND BREAK ON ONE SIDE AND ON THE CEILING AT ALL WASHROOMS.
  4. EACH OFFICE AND CONFER RM WALL SHALL HAVE 5/8" SOUND ROCK ONE SIDE OF WALLS.
  5. ALL WALLS SHALL HAVE 3.5" BATT INSULATION WITHIN AND ABOVE CEILINGS OVERLAPPING 24" EACH SIDE.
  6. PROVIDE CONSTRUCTION AND SOUND SUPPRESSION METHODS TO PREVENT ANY AND ALL SOUNDS FROM THE NEW WASH ROOMS AND ADJACENT ROOMS.

POWER/COMM PLAN NOTES

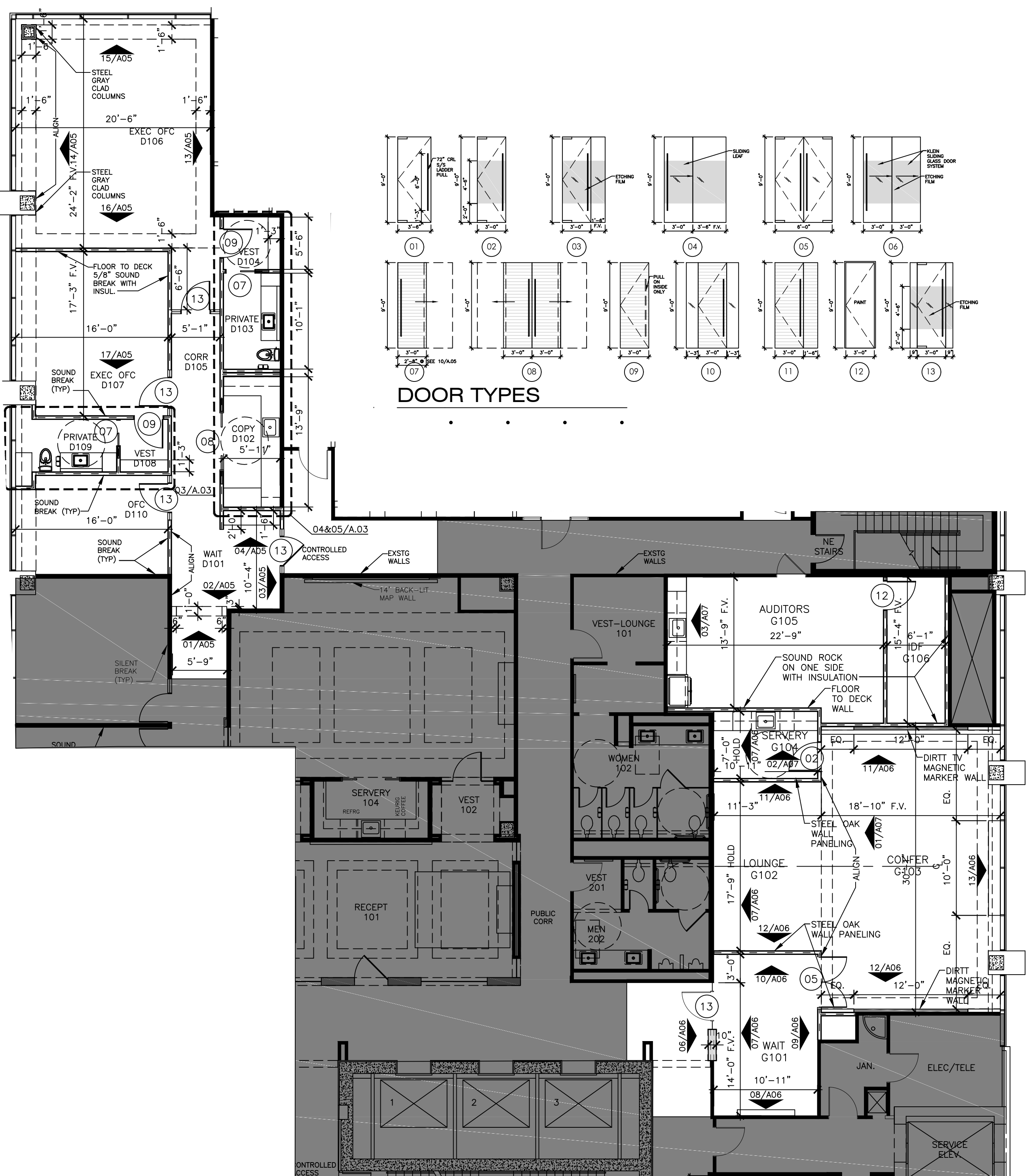
- NOTE:
1. ALL EXISTING AND REUSED ELECTRICAL RECEPTACLES AND DATA OUTLETS AND COVER PLATES SHALL BE CHANGED OUT TO BE WHITE OR LIGHT GREY AT WOOD SURFACES. VERIFY BY RDF.
  2. REMOVE ALL ABANDONED RECEPTACLES, PATCH AND FINISH.
  3. ALL RECEPTACLES AND SWITCHES SHALL BE NEW, AND INSTALLED SQUARE, PLUMB AND LEVEL. NO EXCEPTIONS.
  4. SCHED. & COORD. WITH FURN. INSTALLER REGARDING POWER & DATA LOCATIONS TO MODULAR FURNITURE AND CONFERENCE TABLE.
  5. COORDINATE AND CONFIRM LOCATION OF ALL CONTROLLED ACCESS DEVICES PRIOR TO ROUGH-INS.
  6. COORDINATE AND CONFIRM LOCATIONS OF ALL SPEAKERS PRIOR TO ROUGH-INS.

DRYWALL AND  
ELECTRICAL TRADES  
SHALL CONFIRM  
FRAMING  
CONDITIONS WITH  
MILLWORKER PRIOR  
TO ROUGH-INS.



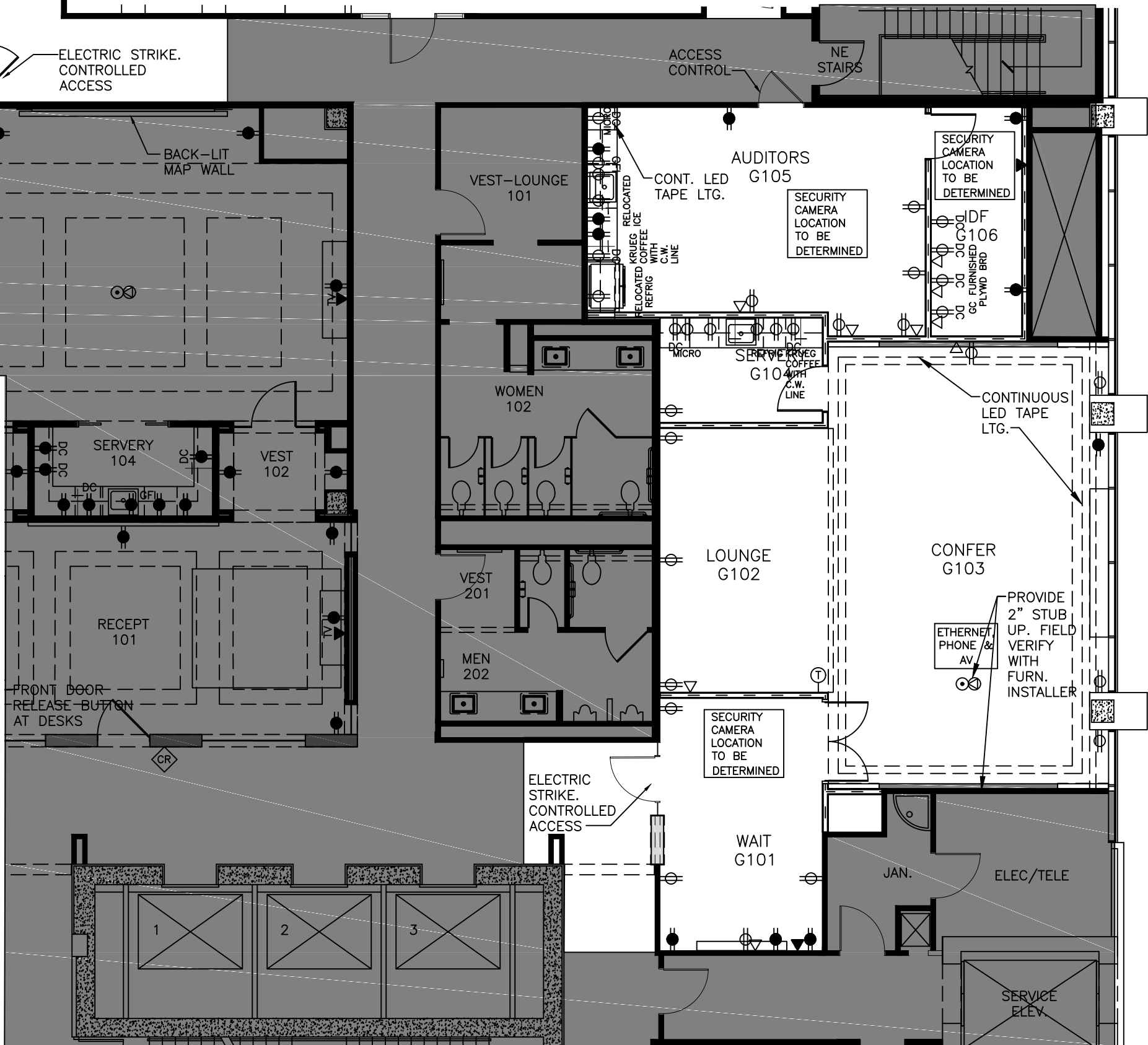
DETAIL AT  
DIRT & WOOD PANEL

3" = 1'-0"



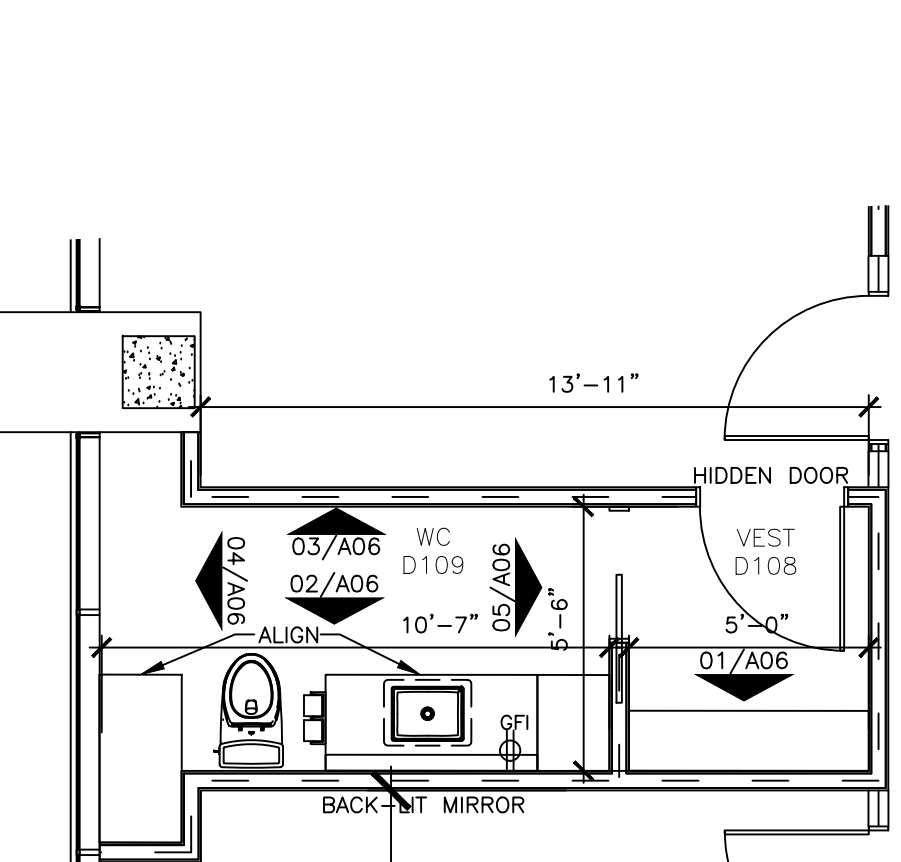
01 PARTITION PLAN

1/8" = 1'-0"



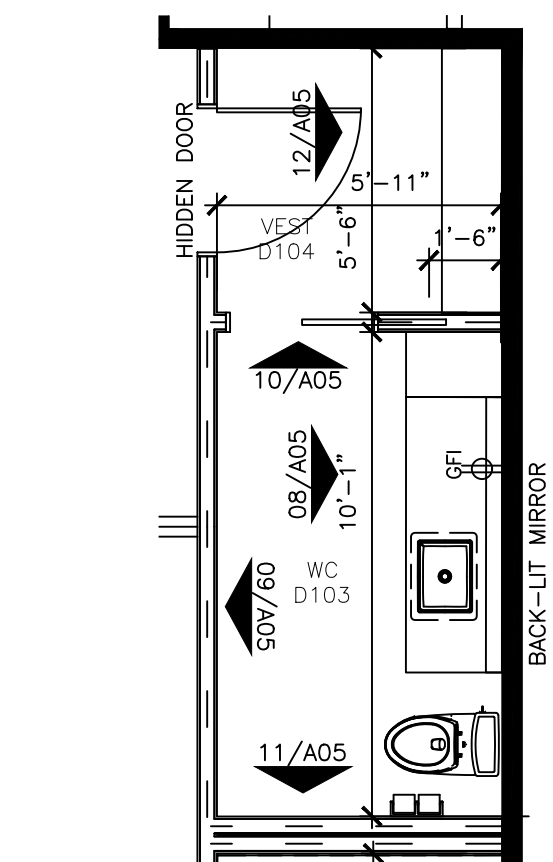
02 POWER/COMM PLAN

1/8" = 1'-0"



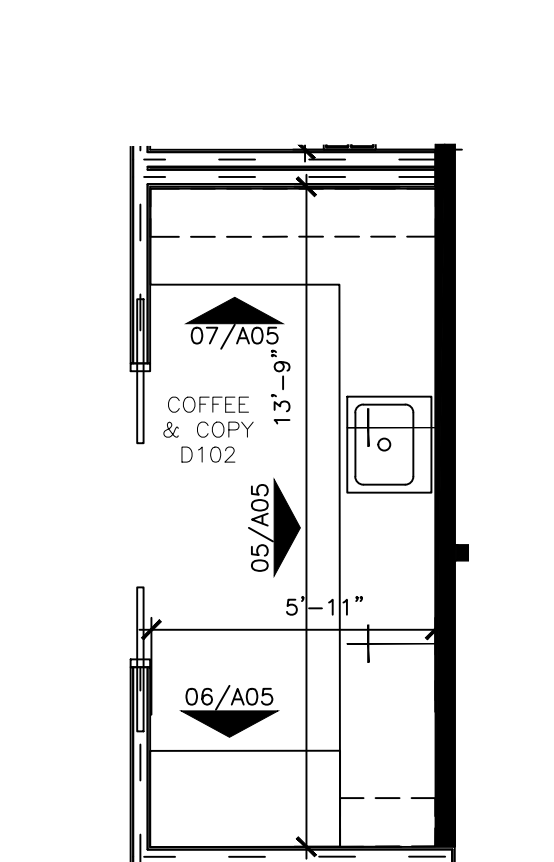
03 ENLARGED PLAN

1/4" = 1'-0"



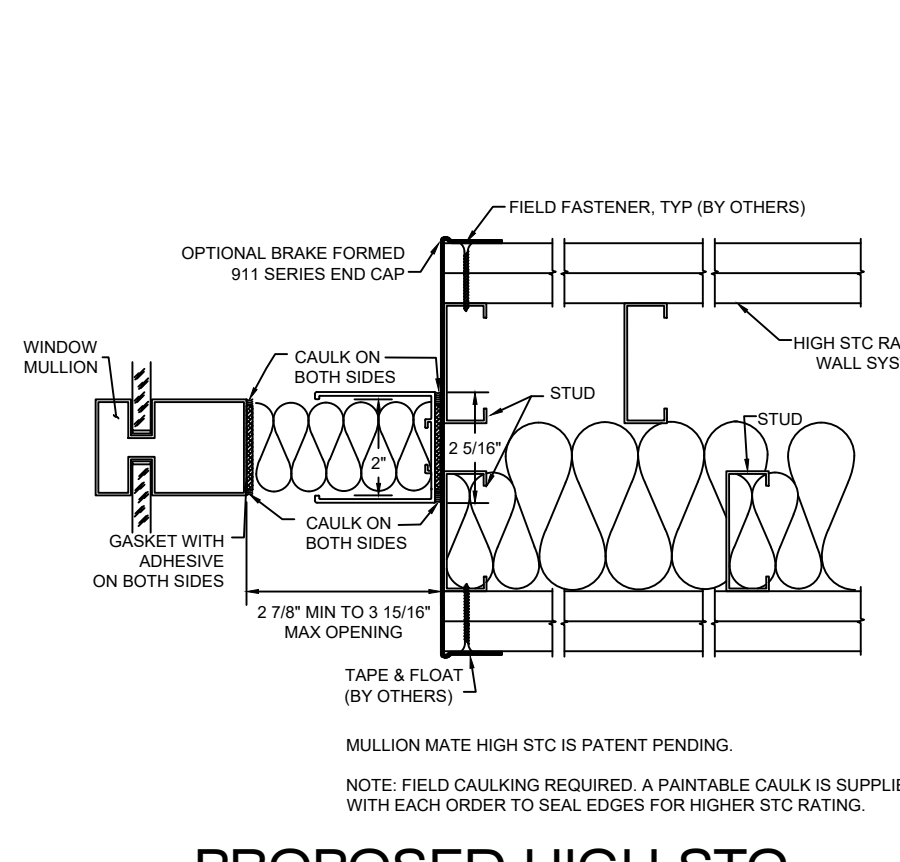
04 ENLARGED PLAN

1/4" = 1'-0"



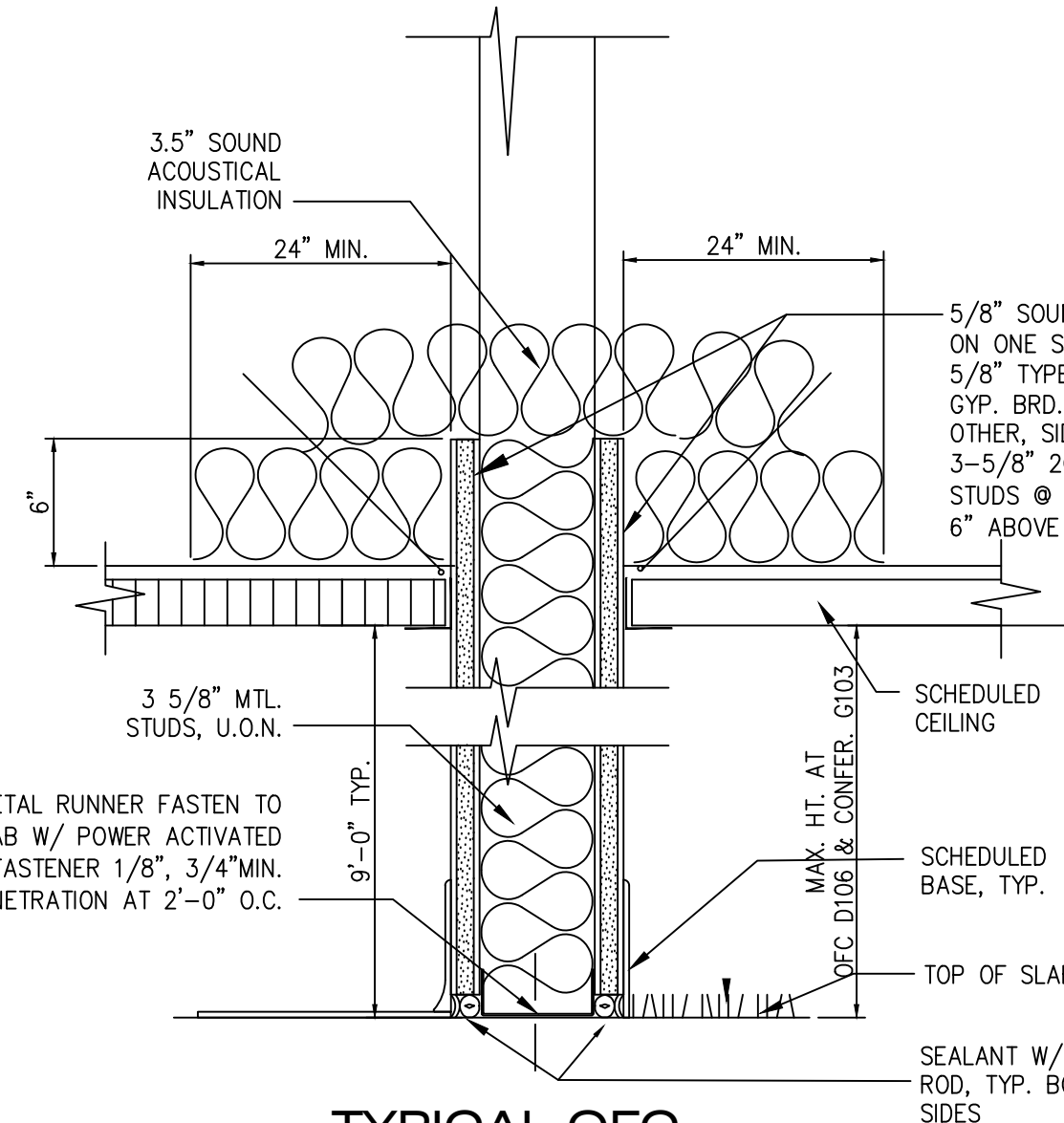
05 ENLARGED PLAN

1/4" = 1'-0"



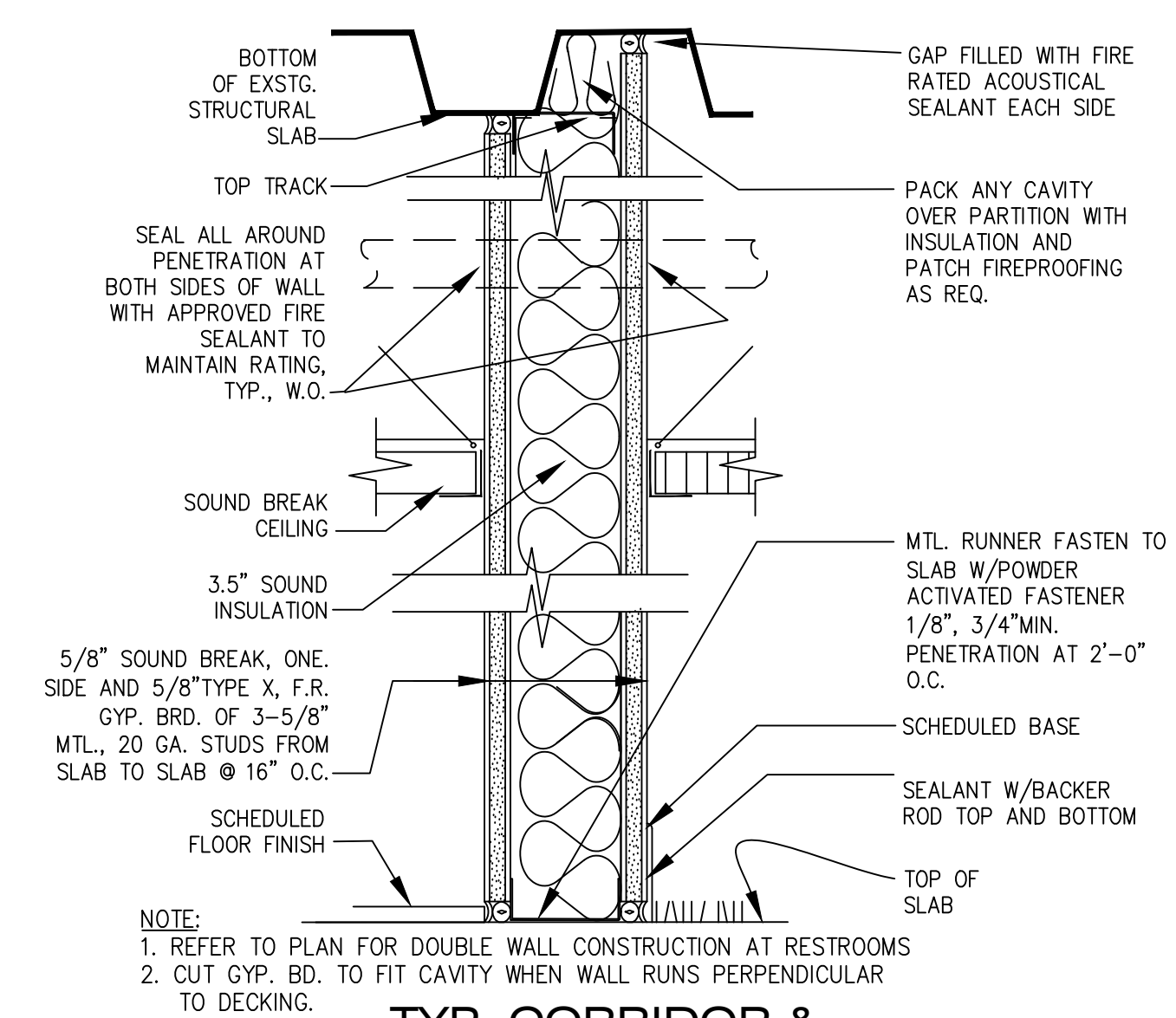
06 PROPOSED HIGH STC  
WALL TO MULLION DETAIL

3" = 1'-0"



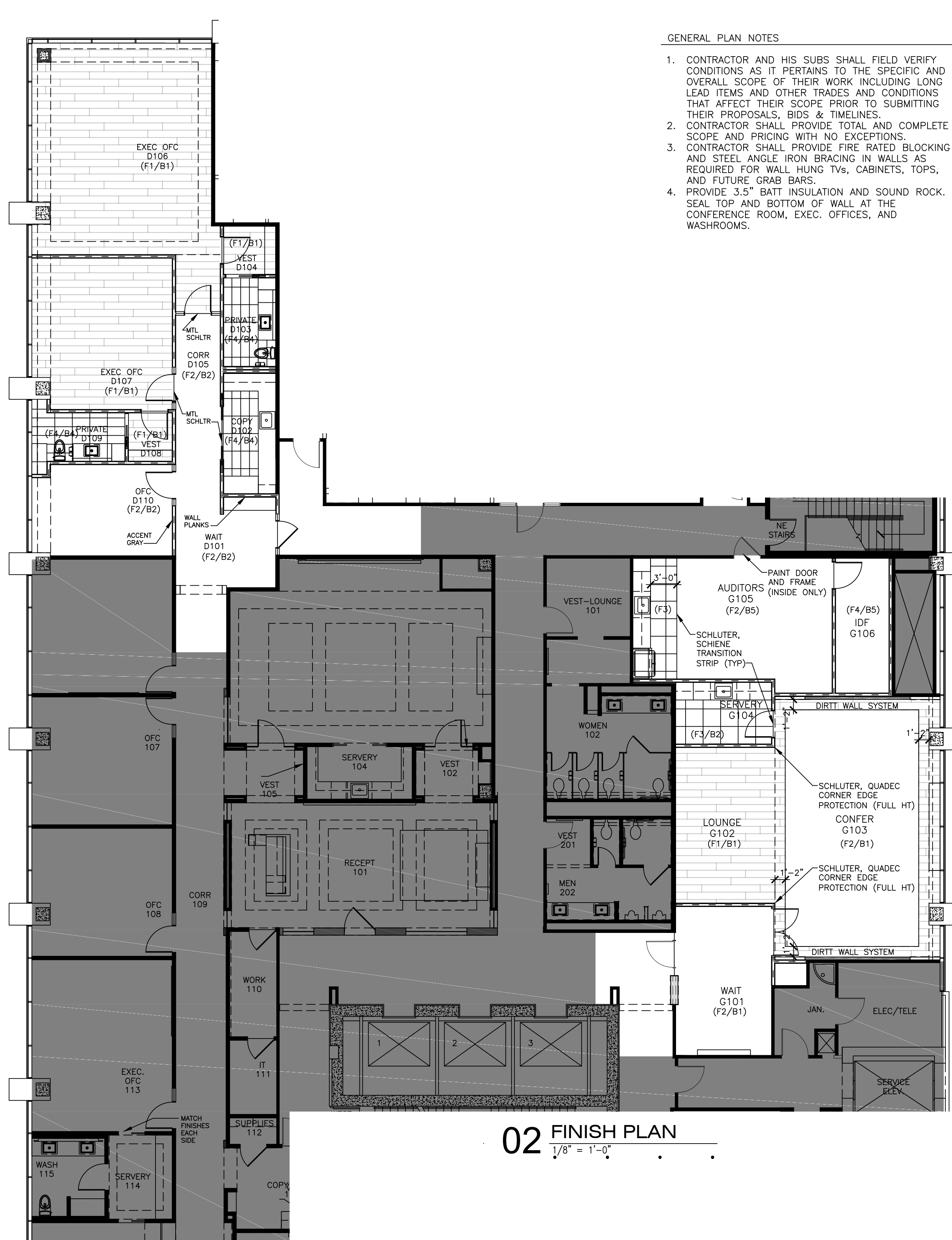
07 TYPICAL OFC  
PARTITION TYPE

3" = 1'-0"



08 TYP. CORRIDOR &  
WASHRM WALL TYPE

3" = 1'-0"



#### GENERAL PLAN NOTES

1. CONTRACTOR AND HIS SUBS SHALL FIELD VERIFY CONDITIONS AS IT PERTAINS TO THE SPECIFIC AND OVERALL SCOPE OF THEIR WORK INCLUDING LONG LEAD ITEMS AND OTHER TRADES AND CONDITIONS THAT AFFECT THEIR SCOPE PRIOR TO SUBMITTING THEIR PROPOSALS, BIDS & TIMELINES.
2. CONTRACTOR SHALL PROVIDE TOTAL AND COMPLETE SCOPE AND PRICING WITH NO EXCEPTIONS.
3. CONTRACTOR SHALL PROVIDE FIRE RATED BLOCKING AND STEEL ANGLE IRON BRACING IN WALLS AS REQUIRED FOR WALL HUNG TVs, CABINETS, TOPS, AND FUTURE GRAB BARS.
4. PROVIDE 3.5" BATT INSULATION AND SOUND ROCK. SEAL TOP AND BOTTOM OF WALL AT THE CONFERENCE ROOM, EXEC. OFFICES, AND WASHROOMS.

#### FLOORING

- (F1) WIDE PLANK, PRE-FINISHED FLOORING – ANDERSON, NOBLE HALL, COLOR: ARCHDUKE
- (F2) CARPET, TANDUS CENTIVA, POWERBOND & 12x36 MODULAR, STYLE: MARLED TWEED 11072, COLOR: BARK TWEED 27301. MONOLITHIC INSTALL. PROVIDE PATTERN AND SEAMING PLAN.
- (F3) PORCELAIN, ATLAS CONCORDE, FRAY, 24x24, COLOR: WHITE
- (F4) PORCELAIN, ATLAS CONCORDE, FRAY, 12x24, COLOR: GRAY. BRICK PATTERN INSTALL.
- (F5) LVT, MOHAWK, ACTIVE TEC COLLECTION, METRO 00072, COLOR: 03, BEIGE

#### BASE

- (B1) WOOD – 6"H x 3/4", BLOCK, FINE GRAIN, STEEL OAK VENEER, AWI SYSTEM 5 FINISH, SATIN SHEEN
- (B2) WOOD – 3"H x 3/4", BLOCK, FINE GRAIN, STEEL OAK VENEER, AWI SYSTEM 5 FINISH, SATIN SHEEN
- (B3) QUARTZ – CAMBRIA, 2 CM, COLOR: MANCHESTER . FACE OF QUARTZ SHALL ALIGN WITH FACE OF WALL PANELING SEPARATED BY REVEAL.
- (B4) PORCELAIN TILE – 6"H WITH METAL EDGE PROTECTION OR 48"H AT WASHRMS. SEE ELEVATIONS.
- (B5) RUBBER – 2.5"H, STRAIGHT ROPPE, COLOR: #194, BURN'T UMBER

#### WALLS

- (W1) WOOD PANELING – FINE GRAIN STEEL OAK VENEER WITH AWI SYSTEM 5 FINISH, SATIN SHEEN
- (W2) WOOD PLANK = MODIFIED, HOME DECORATORS COLLECTION, HANDSCAPED STRAND WOVEN WARM GREY – THS, 3/8"x 5-1/8"x 72", CLICK BAMBOO FLOORING
- (W3) VINYL – MAHARAM, ILLUDE 399912, COLOR: 009 BARK
- (W4) PAINT B.M., OC-65, CHANTILLY LACE (WHITE), EGGSHELL FINISH ON WALLS. LATEX LOW SHEEN ENAMEL ON DOORS. (PROVIDE WALL SAMPLES UNDER LEASE SPACE LIGHTING FOR REVIEW AND APPROVAL PRIOR TO ORDERING PRODUCT)
- (W5) PAINT – (GRAY ACCENT) B.M., 1473, GRAY HUSKIE, EGGSHELL FINISH ON WALLS. FLAT LATEX FINISH ON CEILINGS AS DETERMINED. ONE WALL EACH AND COLUMNS IN EACH OFFICE AND AREA (EXCEPT WALLS TO RECEIVE WOOD PANELING AND/OR WVC)
- (W6) PORCELAIN – ATLAS CONCORDE, FRAY, 12x24, COLOR: WHITE
- (W7) GL SEAMAN – DIRTT MODULAR HIDDEN TV AND MARKER BRD. PANELS. COORDINATE AND INTERFACE WITH ADJACENT TRADES AND MATERIALS.

#### CEILING

- (C1) ACOUSTICAL BY ARMSTRONG – DUNE #1774, 24x24, TEGULAR, WHITE
- (C2) GYP. BRD. – PAINTED W4.
- (C3) ADD ALTERNATE AT G102 & G103 IN LIEU OF C1: ACOUSTICAL PLASTER CEILING-STAR SILENT BY PYROK [www.starsilent.com/?he=starsilent-system, 25mm](http://www.starsilent.com/?he=starsilent-system, 25mm) or 1" BOARD WITH INSULATION LAID ON TOP OF THE SYSTEM OR ATTACHED TO THE UNDERSIDE OF THE DECK ABOVE. FINISH: SMOOTH. CONTACT: ANDREW SARCIANELLA AT PYROK. (914) 841-3677, ANDREW@PYROK.COM

#### CABINETS

- TOPS – QUARTZ,  
QTZ-1 CAMBRIA, 2 CM, SNOWDEN WHITE  
QTZ-2 CAMBRIA, 3 CM, BRITTANICCA AT WASHRMS

#### BACKSPLASH

- T-1 QUARTZ 2 CM, CAMBRIA, SNOWDEN WHITE (COFFEE STATIONS)  
T-2 QUARTZ, 3 CM, CAMBRIA, BRITTANICCA (WASH RMS)

#### PLAM GRADE CABINETS

- PLAM-1 FORMICA, PECAN WOODLINE,5883-58

PREMIUM STAIN GRADE CABINETS SHALL BE FINE GRAIN STEEL OAK VENEER WITH AWI SYSTEM 5 FINISH, SATIN SHEEN

#### MISCELLANEOUS

1. FULL HT., BUTT-JOINT, WHITE MAGNETIC PORCELAIN PANELS FOR MAP WALL. (NOT USED)
2. SCHLUTER EDGE PROTECTION  
SCH-01 3/8" QUADEC OUTSIDE CORNERS IN THE RESTROOMS, CONFERENCE ROOM, AND AS NOTED. COLOR AND FINISH AS SELECTED.  
SCH-02 SCHIENE AT FLOOR TRANSITIONS

#### Interior Alterations for

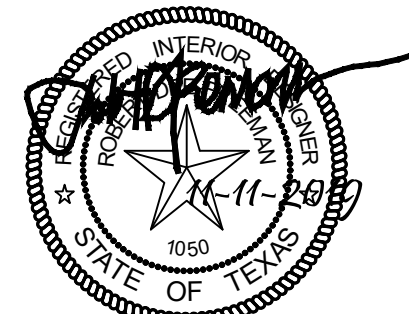
## KIMBELL ROYALTY PARTNERS EXPANSION

Penthouse II - D & G  
777 TAYLOR STREET  
Fort Worth, Texas 76102

## RDFinc

4450 Oak Park Lane  
No. 101793  
Fort Worth 76185

817 307 1746



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DESIGNER'S REGISTRATION LAW, TEXAS CIVIL  
STATUTES, ARTICLES 249E.

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Blaine Brewer  
Carlie's Cell: (903) 330-1910  
Blaine's Cell:  
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Property Mgmt: THE FORT WORTH CLUB  
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Fax No. 817 335-7737  
Email: cprice@fortworthclub.com

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Cell No. 817 999-6290  
Email: tim@tarrantconstruction.com

#### ISSUES

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PERMIT NO.  
PB19-x

FOR CONSTRUCTION  
11-11-2019

TDLR Registration No.  
TABS\_2020005125

RDF Proj. No.  
19\_0515

Sheet Name  
FLOOR PLANS

Scale  
1/8" = 1'-0"  
U.N.O.

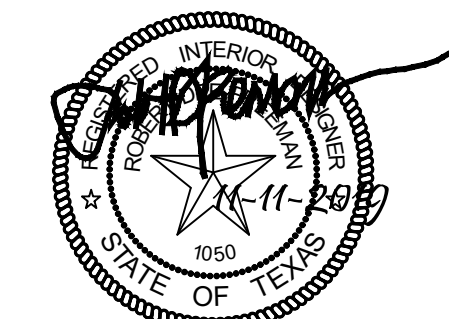
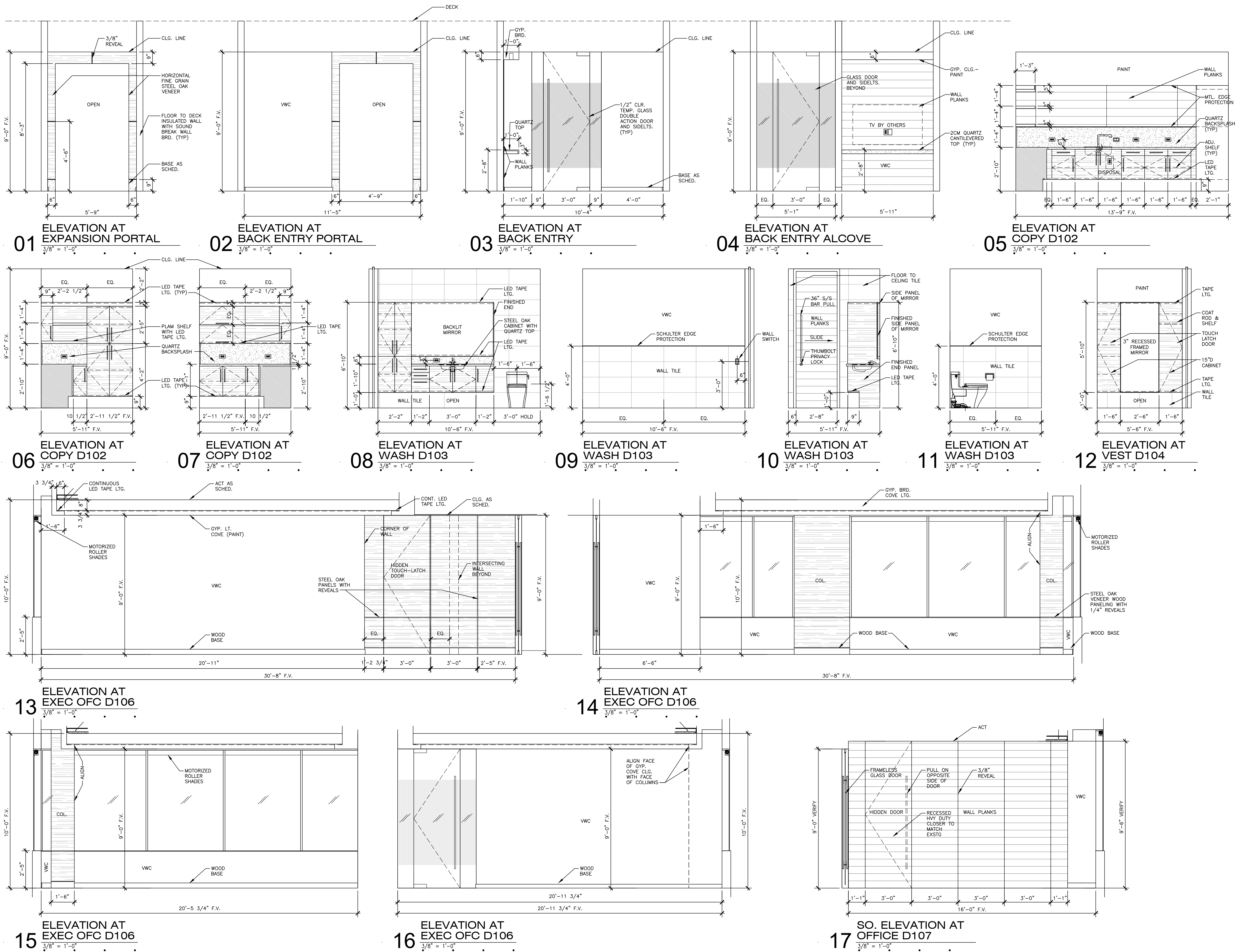
Sheet No.  
A.04



RDF 2019

#### ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				COLUMN	CEILING		REMARKS	REFER TO NOTE NO.	ROOM NO.
				N	E	S	W		TYPE (VERIFY)	HEIGHT (VERIFY)			
D101	EXEC WAIT	F2	B2	W2	W5	W3	W5	–	C1	9'-0"	REFER TO ELEVATIONS		D101
D102	COPY/COFFEE	F4	B4	W4	W2	W4	W4	–	C1	9'-6"	REFER TO ELEVATIONS		D102
D103	WASH RM – DAVIS	F4	B4	W3/W6	W3/W6	W3/W6	W3/W6	–	C2	9'-6"	REFER TO ELEVATIONS		D103
D104	VEST – DAVIS	F1	B1	W3	W5	W3	W3	–	C1	9'-6"	REFER TO ELEVATIONS		D104
D105	CORR	F2	B2	–	W3	W3	W3	–	C1	9'-0"	REFER TO ELEVATIONS		D105
D106	EXEC OFC – DAVIS	F1	B1	W3	W1/W3	W3	W3	W1	C1/C2	10'-0"	REFER TO ELEVATIONS		D106
D107	EXEC OFC – MATT	F1	B1	W3	W3	W2	W3	W3	C1	9'-6"	REFER TO ELEVATIONS		D107
D108	VEST – MATT	F1	B1	W3	W3	W3	W3	–	C1	9'-6"	REFER TO ELEVATIONS		D108
D109	WASH RM – MATT	F4	B4	W3/W6	W3/W6	W3/W6	W3/W6	–	C2	9'-6"	REFER TO ELEVATIONS		D109
D110	OFC – CARLIE	F2	B5	W4	W5	W4	W4	–	C1	9'-6"	REFER TO ELEVATIONS		D110
EAST LEASE SPACE													
G101	WAIT AREA	F2	B1	W1	W4	W4	W1/W2	–	C1	9'-0"	REFER TO ELEVATIONS		G101
G102	CONFER LOUNGE	F1	B3	W1	–	W1	W1	–	C1/C2	9'-6"	REFER TO ELEVATIONS. SEE CLG. ADD ALTERNATE		G102
G103	CONFER AREA	F1/F2	B3	W1/W7	W3	W1/W7	W1	W1	C1/C2	10'-0"	REFER TO ELEVATIONS. SEE CLG. ADD ALTERNATE		G103
G104	SERVERY	F2	B4	W4	W4	W4	W4	–	C1	9'-6"	REFER TO ELEVATIONS		G104
G105	AUDITORS	F2/F3	B5	W4	W4	W4	W4	–	C1	9'-0"	REFER TO ELEVATIONS		G105
G106	IDF-SECURED	F5	B5	W4	W5	W4	W4	–	C1	9'-0"	SAND SMOOTH & PAINT PLYWD BOARDS		G106



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**ISSUES**  
1 x

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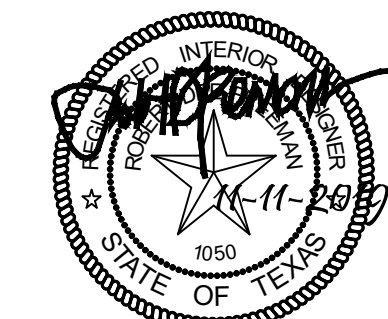
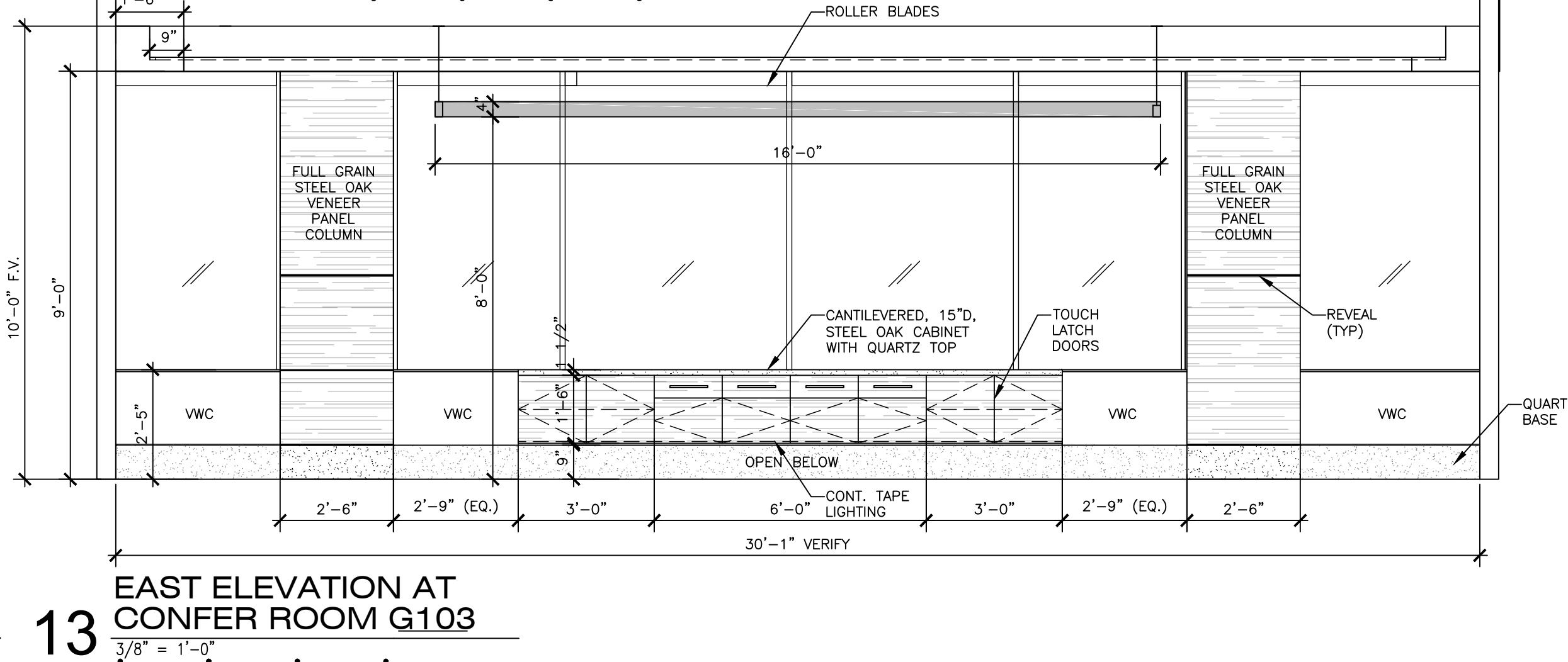
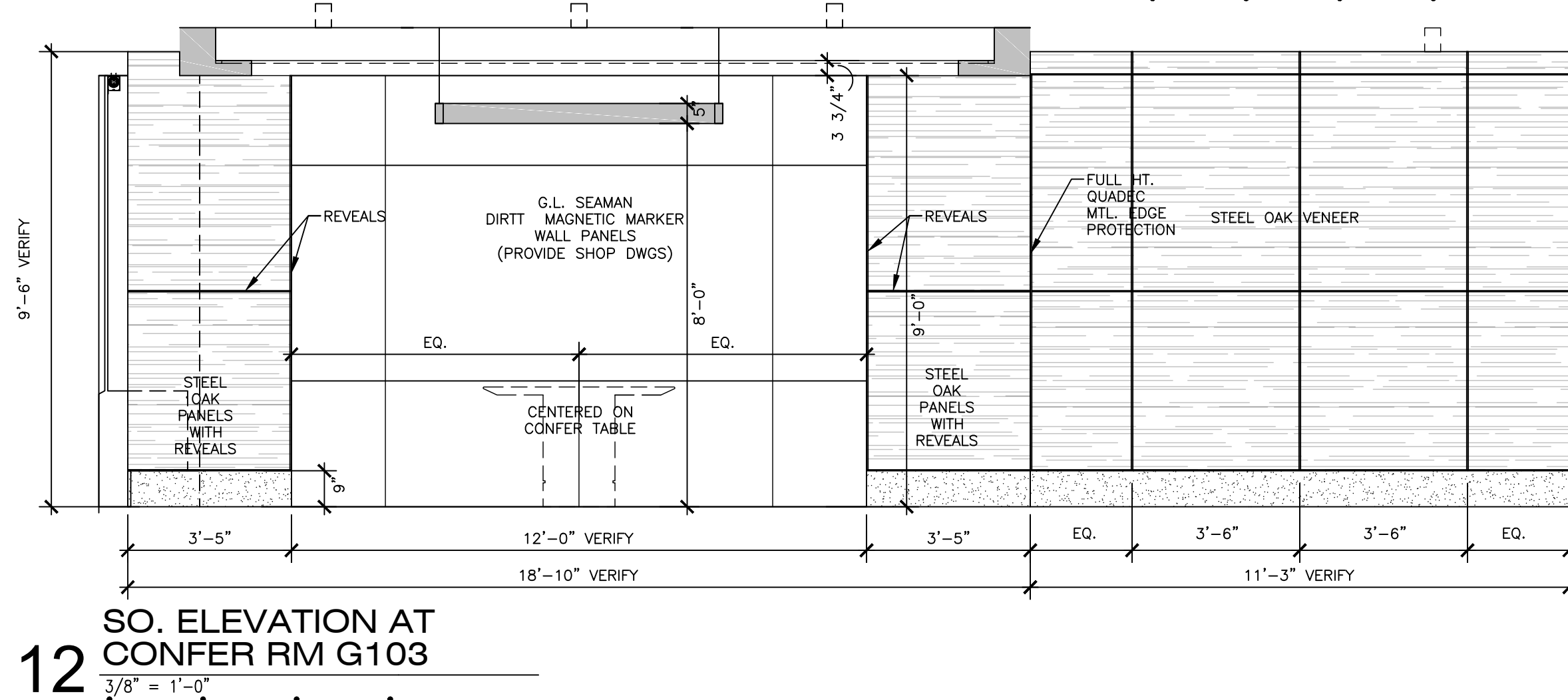
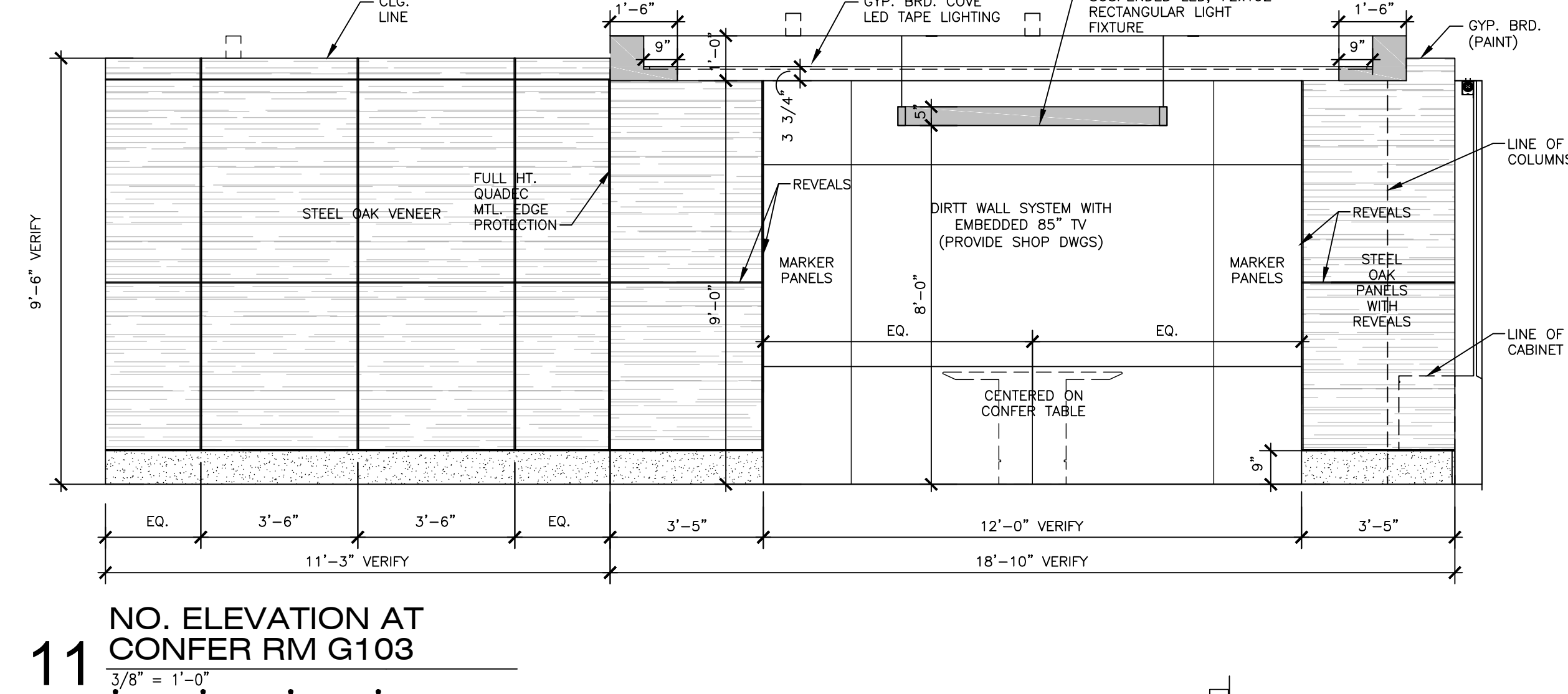
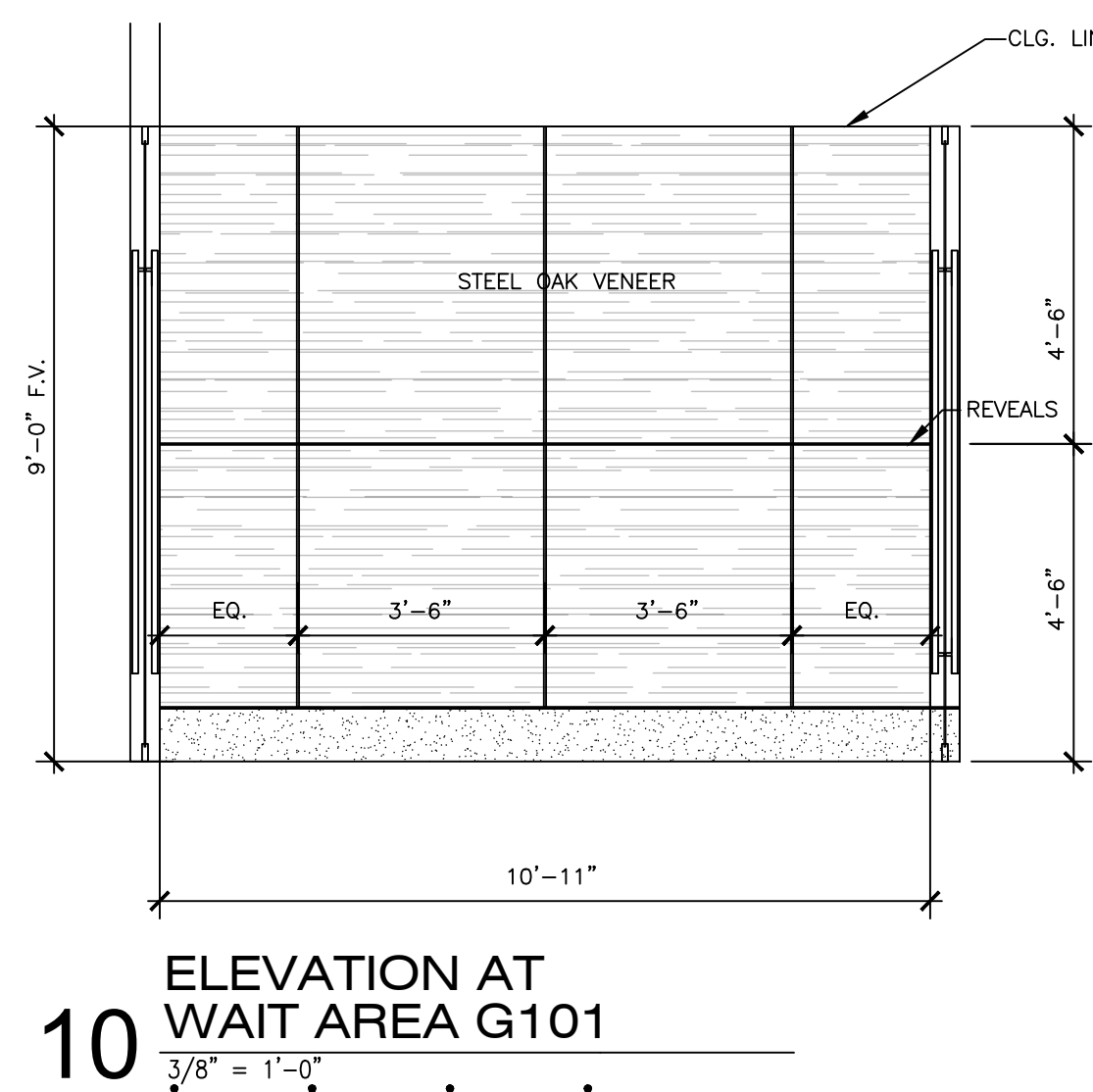
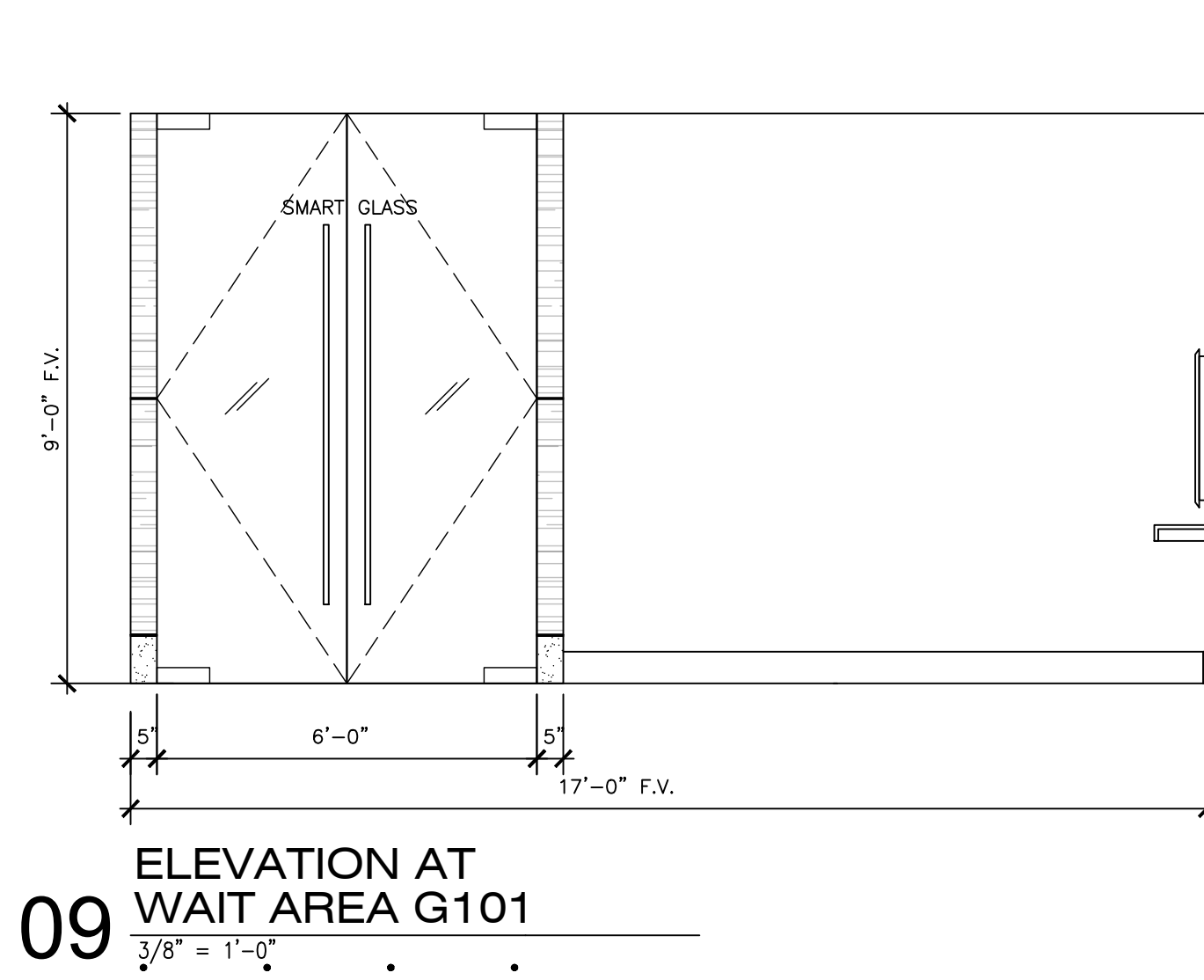
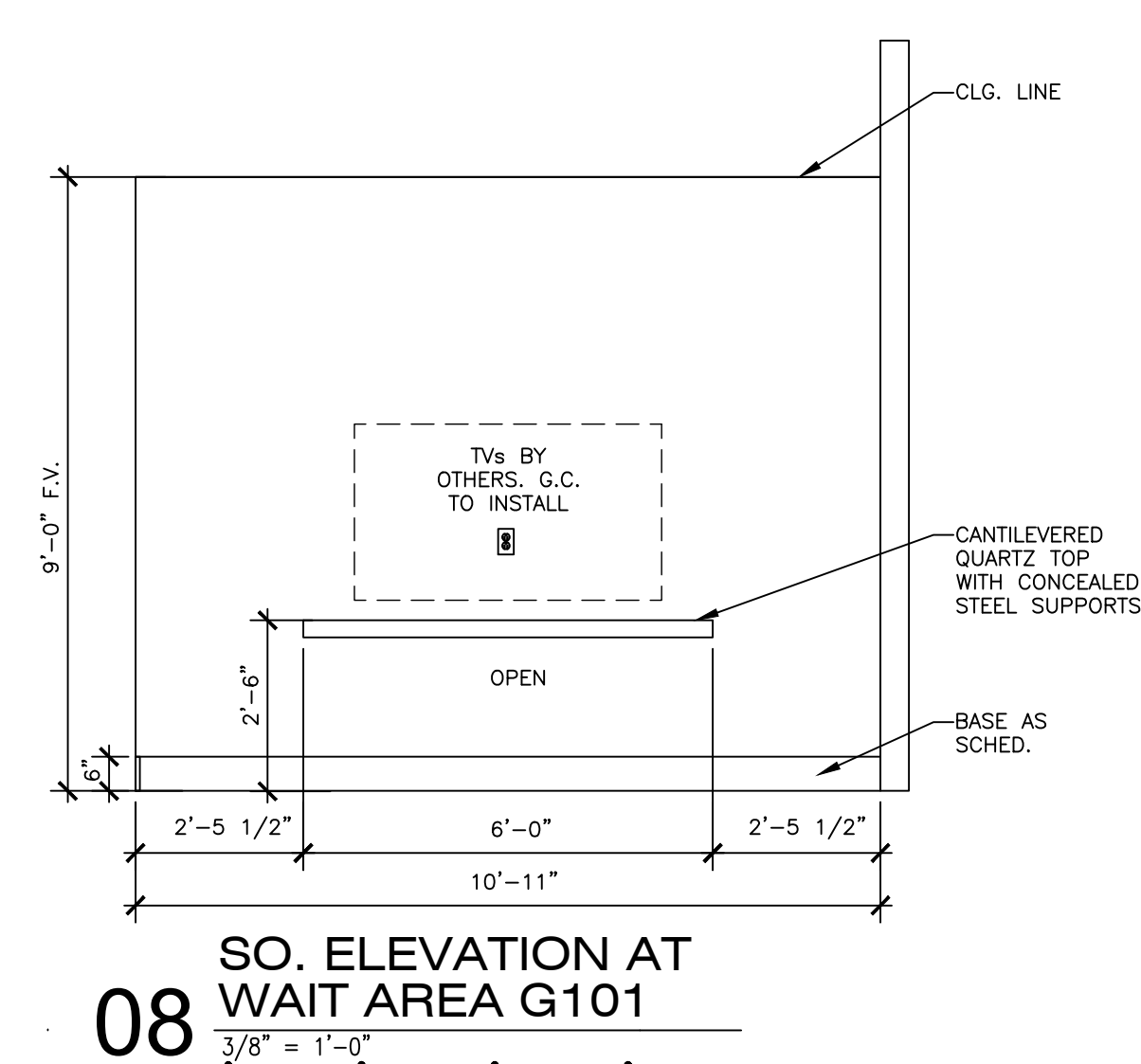
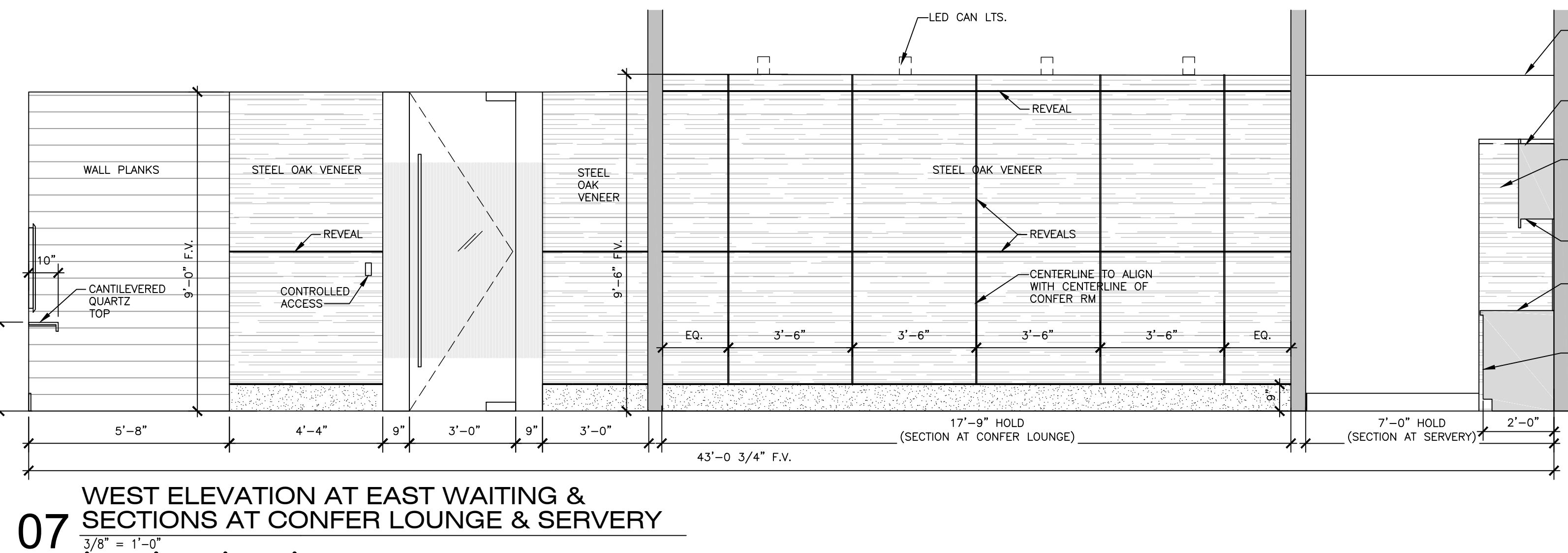
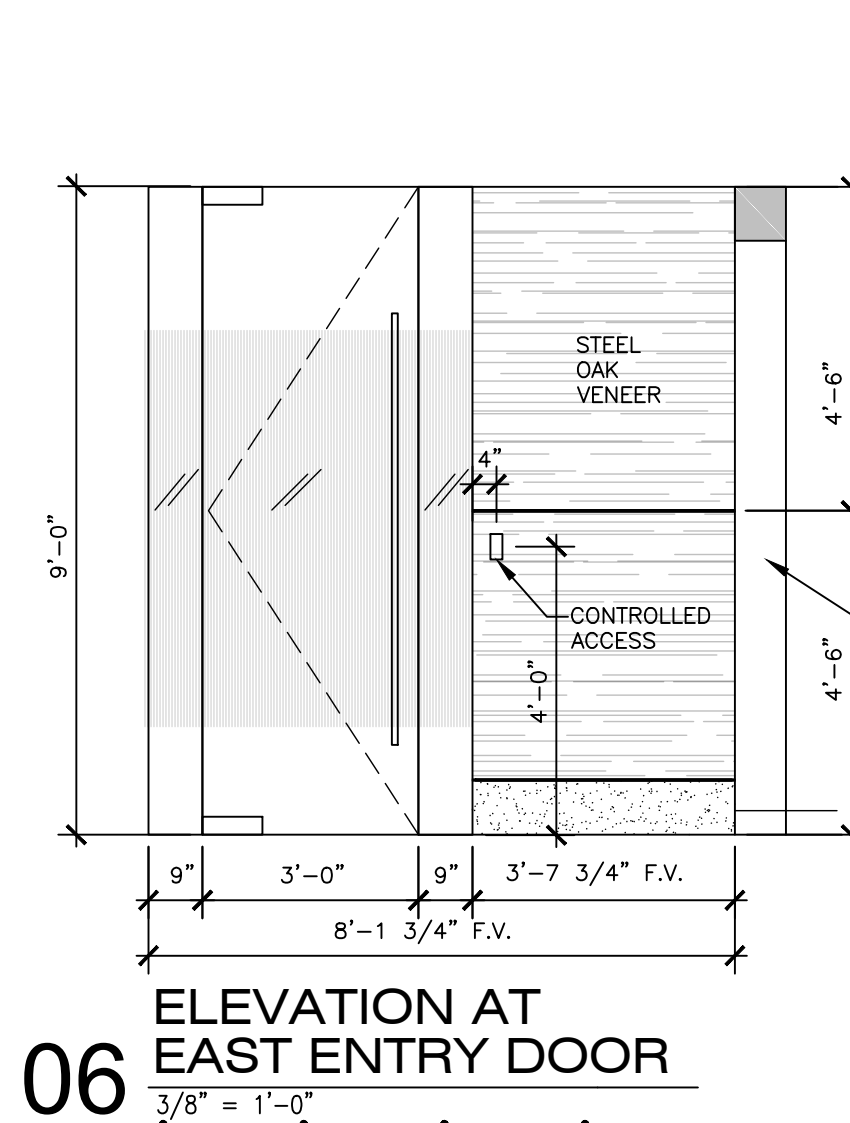
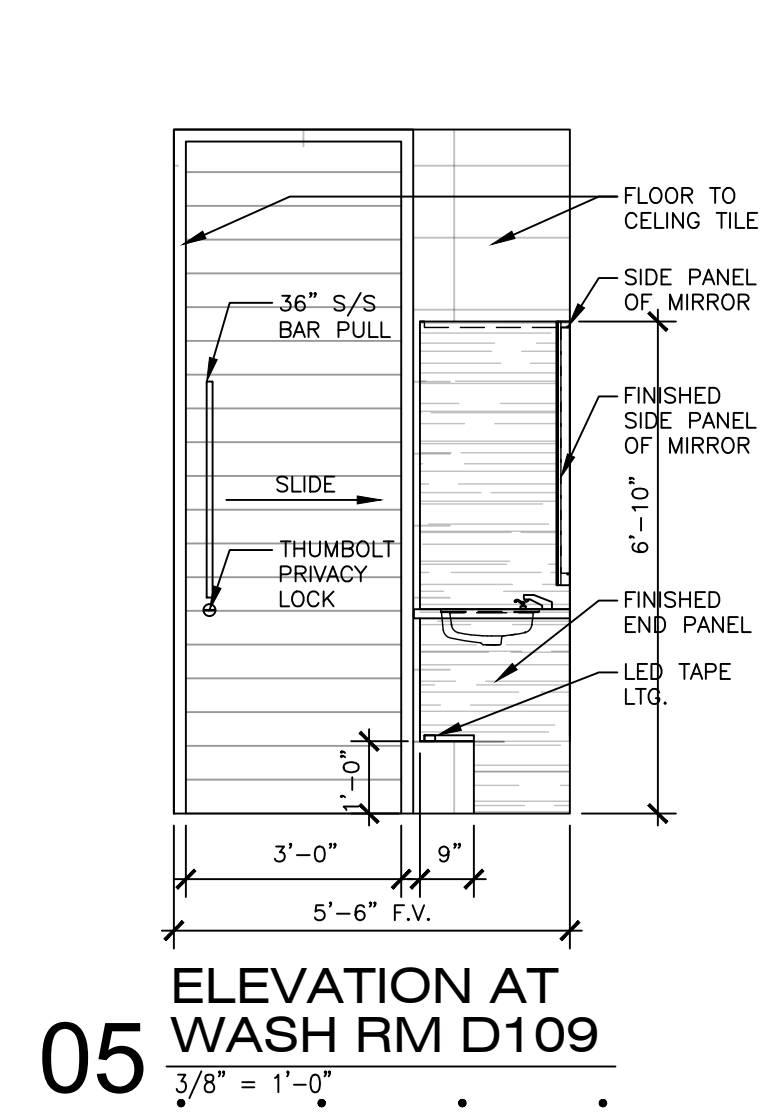
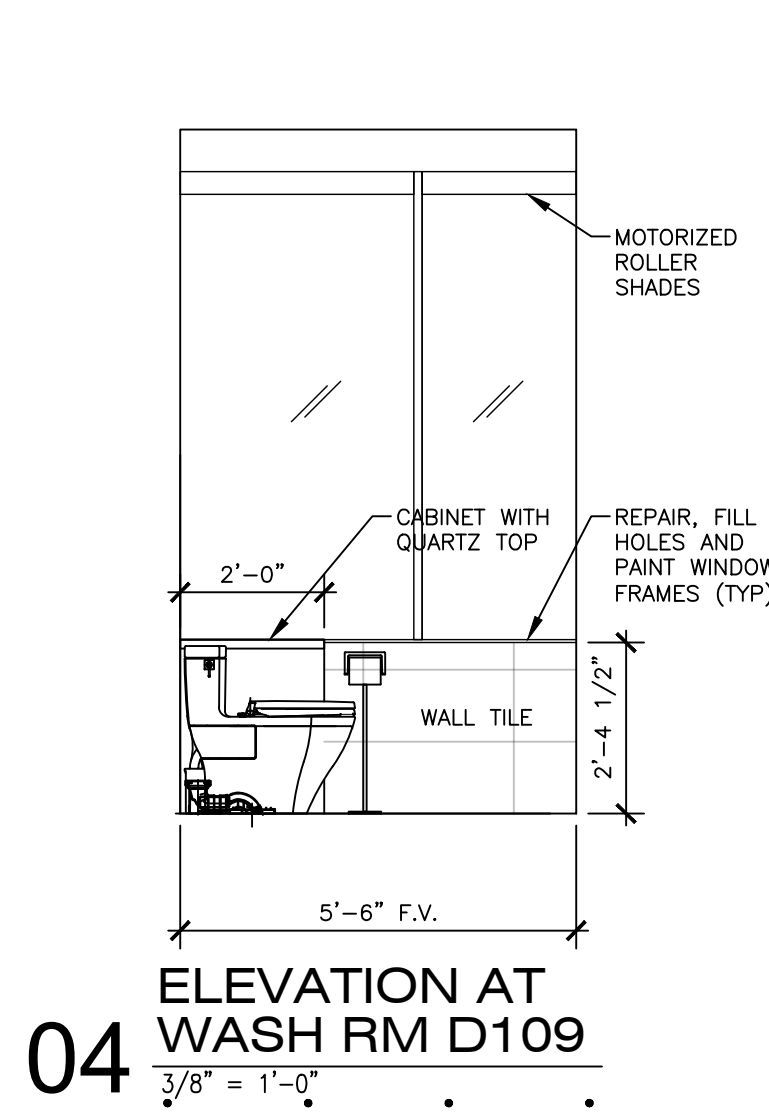
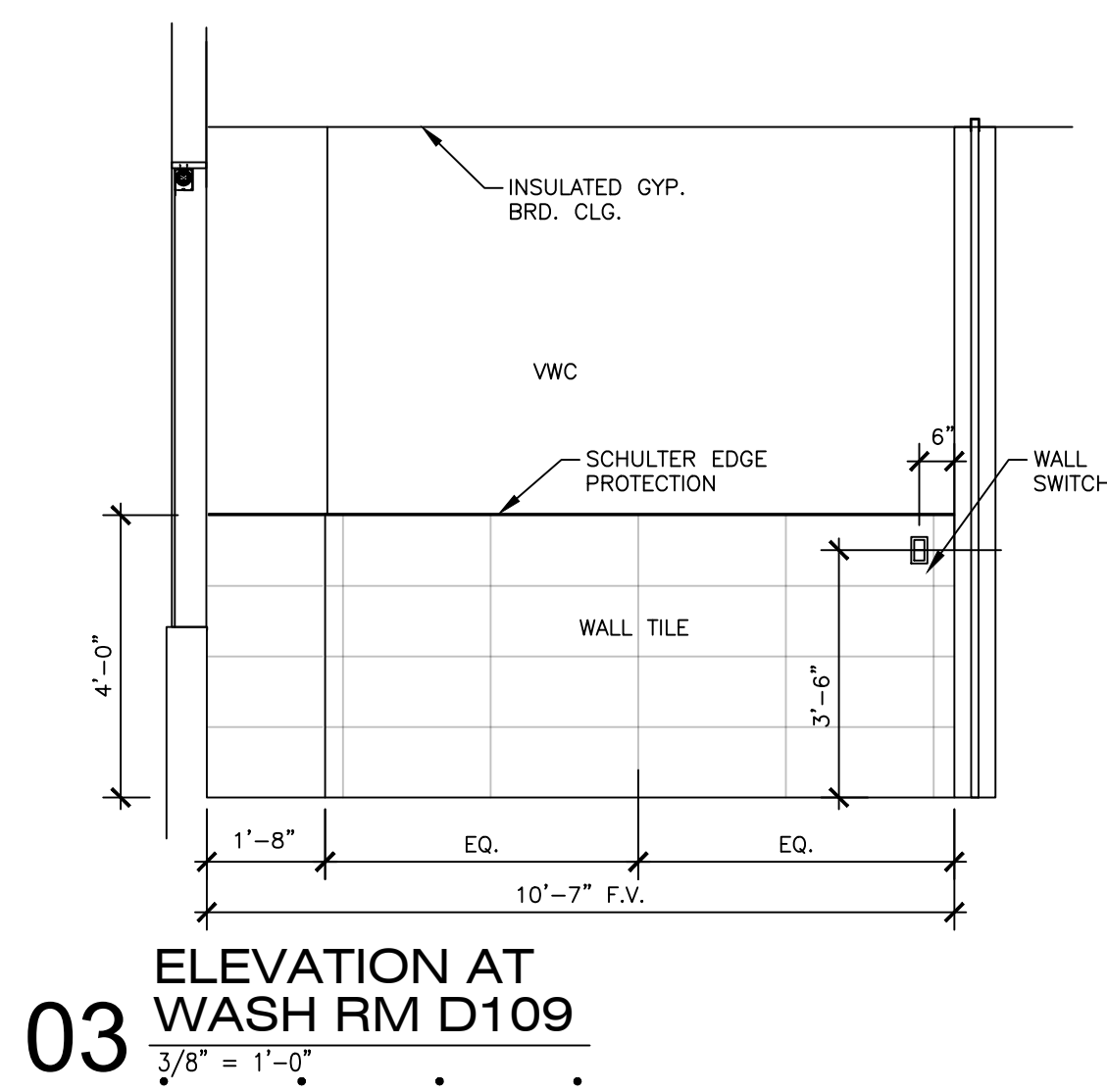
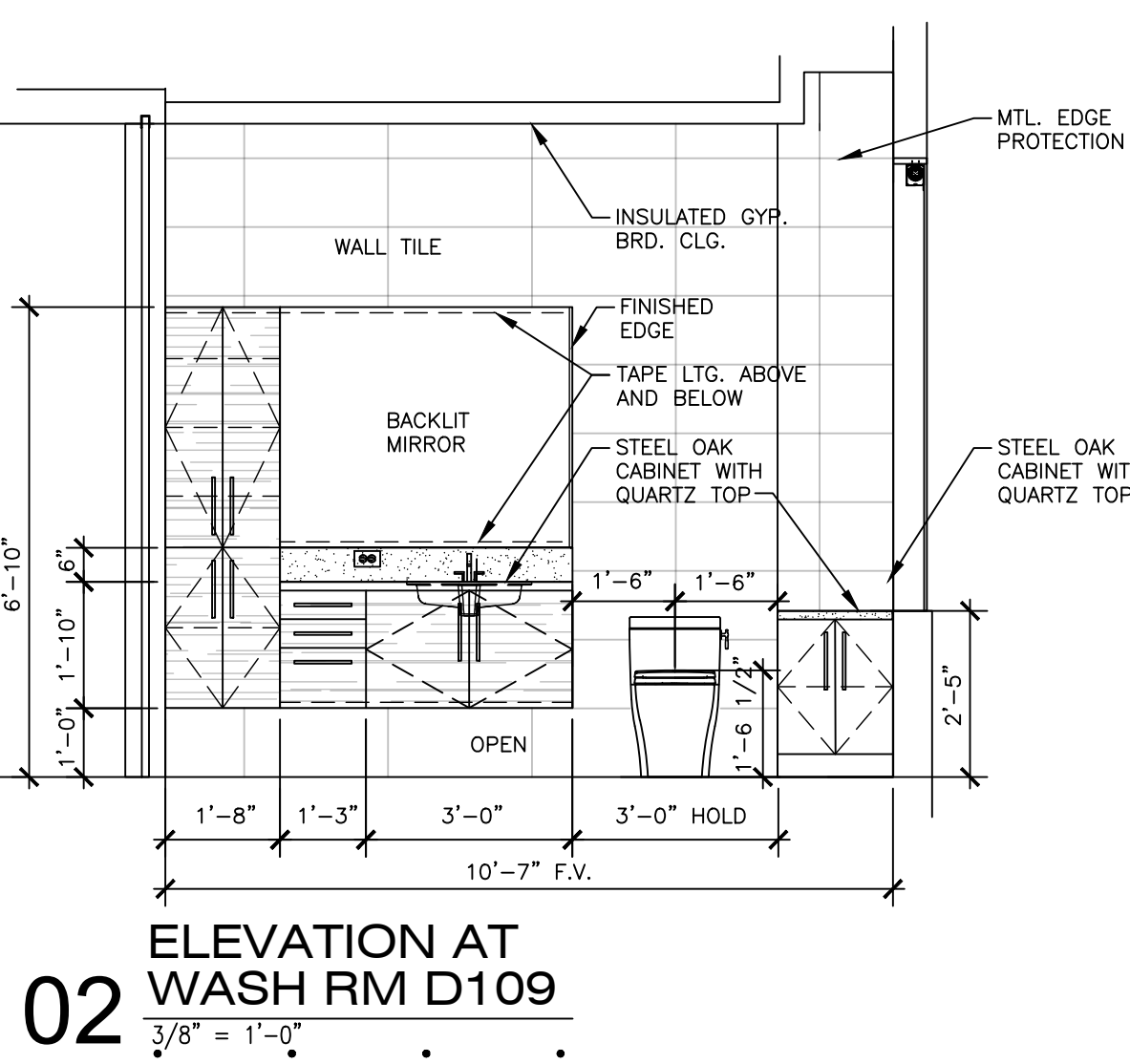
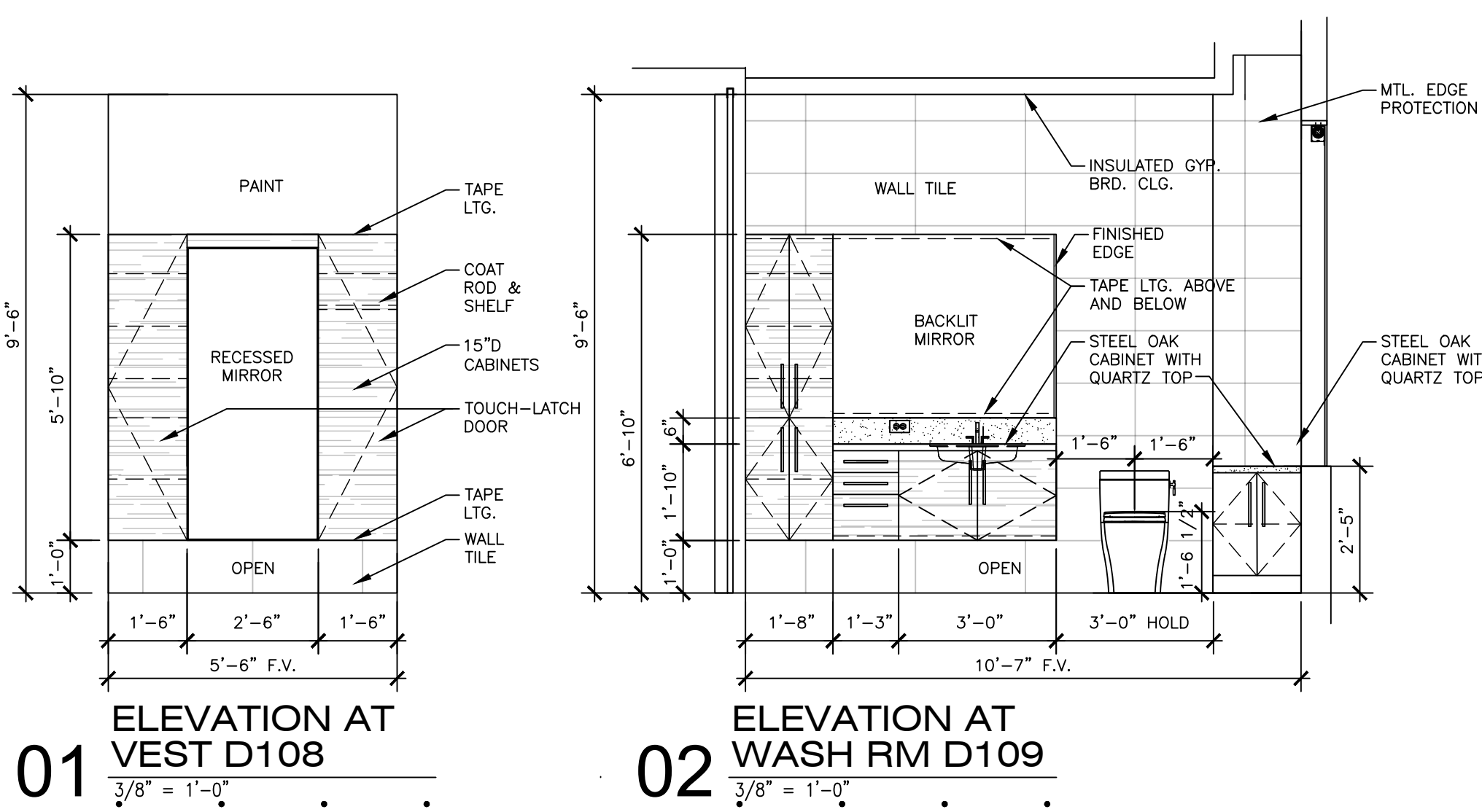
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TABS\_2020005125

**RDF Proj. No.**  
19\_0515

**Sheet Name**  
INTERIOR ELEVATIONS

**Scale**  
1/8" = 1'-0"  
U.N.O.

**Sheet No.**  
**A.05**



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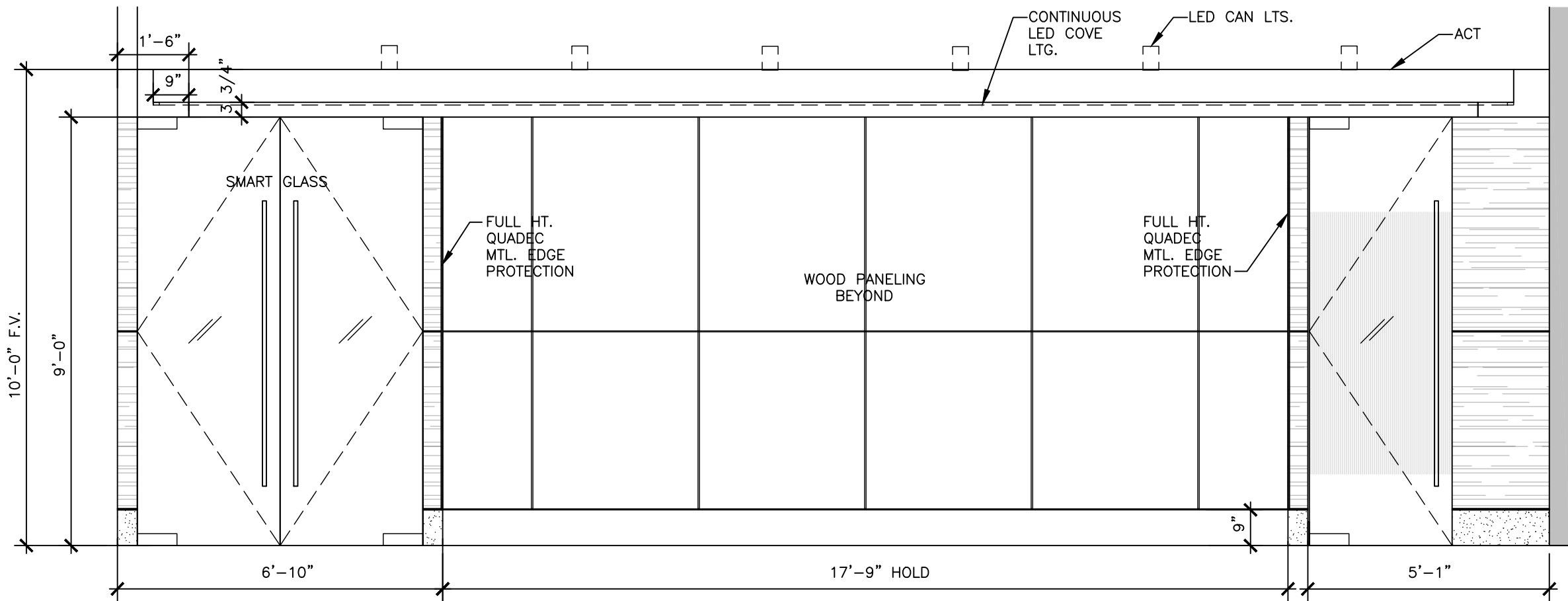
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 TABS\_2020005125

RDF Proj. No.  
 19\_0515

Sheet Name  
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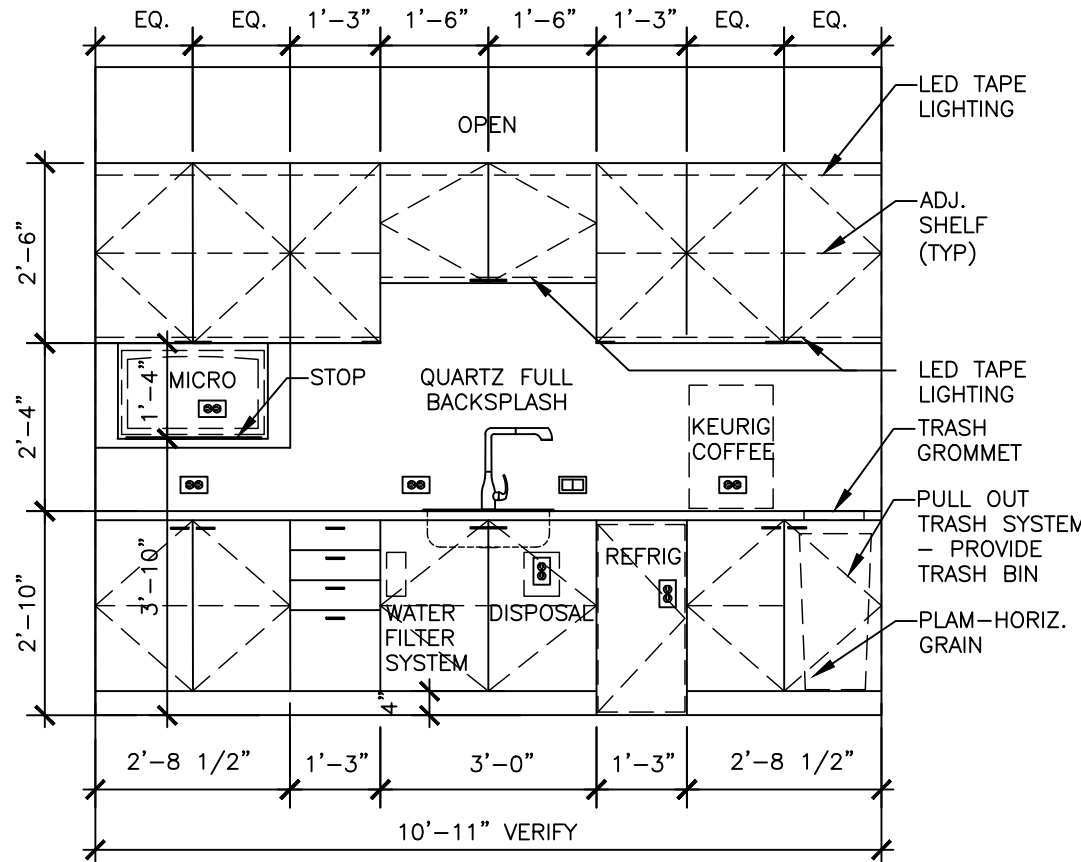
Scale  
 $\frac{1}{8}'' = 1'-0''$   
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Sheet No.  
**A.06**



01 WEST ELEVATION AT  
CONFER ROOM G103

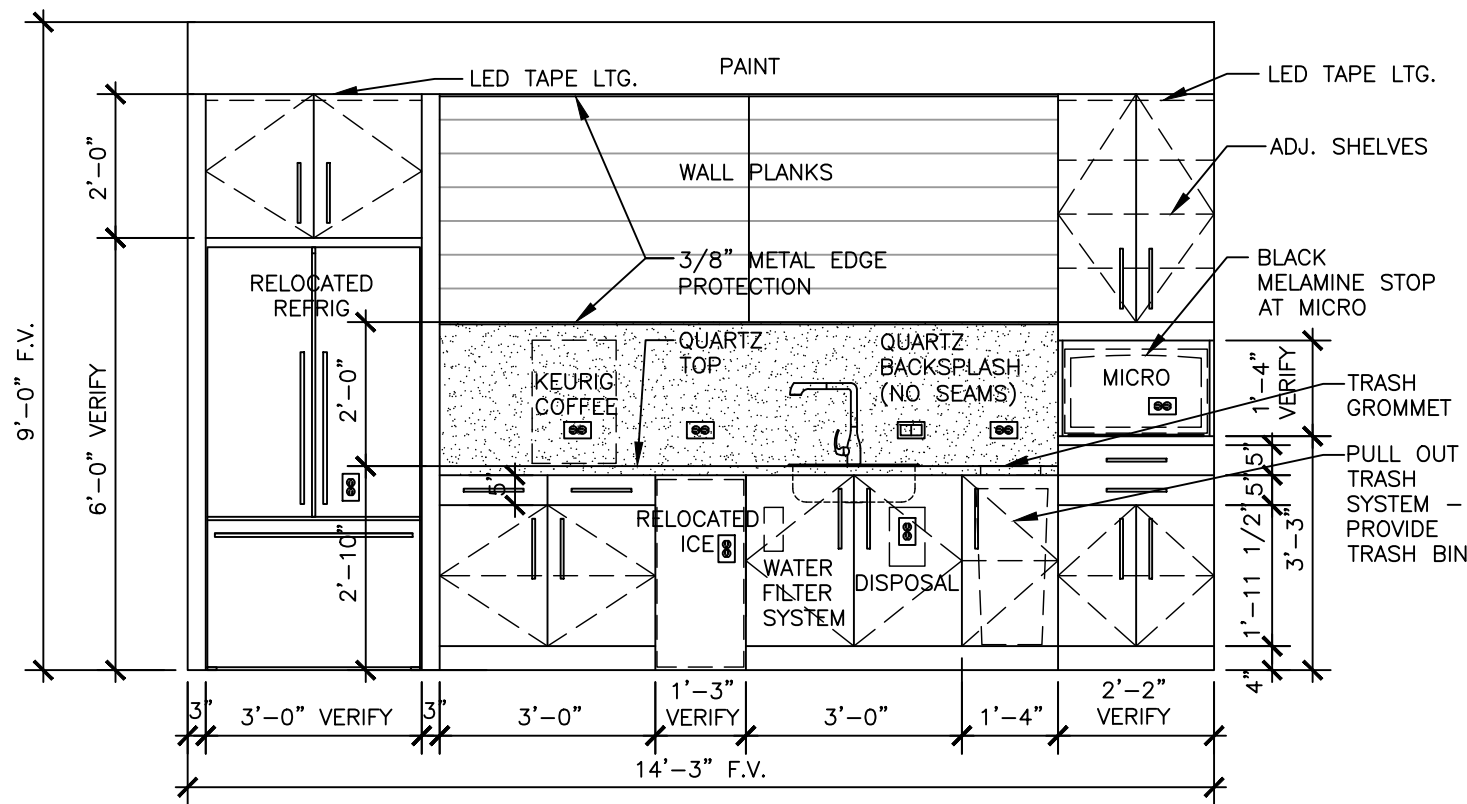
3/8" = 1'-0"



02 ELEVATION AT  
SERVERY G104

3/8" = 1'-0"

1. APPLIANCES FURNISHED AND INSTALLED BY G.C., UNLESS NOTED OTHERWISE
2. G.C. SHALL VERIFY OPENING AND CLEARANCE REQUIREMENTS FOR ALL NEW AND EXISTING EQUIPMENT AND APPLIANCES.



03 ELEVATION AT  
AUDITORS G105

3/8" = 1'-0"

1. APPLIANCES FURNISHED AND INSTALLED BY G.C., UNLESS NOTED OTHERWISE
2. G.C. SHALL VERIFY OPENING AND CLEARANCE REQUIREMENTS FOR ALL NEW AND EXISTING EQUIPMENT AND APPLIANCES.

## CABINETS AND MILLWORK

1. PROVIDE BLOCKING AND FRAMING AS REQUIRED.
2. SEE ELEVATIONS FOR ARRANGEMENT OF DOORS, DRAWERS AND SHELVES.
3. REFER TO FINISH SCHEDULE FOR PLASTIC LAMINATE AND PAINT SELECTIONS.
4. GRAIN DIRECTION FOR WOOD AND WOOD LIKE PLAM SHALL BE HORIZONTAL.
5. ACCURATELY SET ALL CABINETS PLUMB, SQUARE, LEVEL AND PERMANENTLY SECURED IN PRECISE POSITION AS INDICATED.
6. IF APPLICABLE, PAINT GRADE CABINETS TO BE SPRAYED ALKYD BASED. FINISH: EGGSHELL/SATIN.
7. WHERE APPLICABLE, PROVIDE (MIN. 3") DIA. HOLE WITH METAL GROMMET INSERT OR 12"x (3") SLOT IN TOPS WHERE ELECTRICAL OCCURS BELOW COUNTERTOP (SUBMIT CUT-SHEETS AND SAMPLES).
8. AS APPLICABLE, DO NOT HANG WALL BASE ON UNDER COUNTER SUPPORT LEGS.
9. COUNTERTOPS TO BE CONSTRUCTED WITH MINIMUM NUMBER OF JOINTS. JOINTS, WHERE NECESSARY, SHOULD OCCUR AT THE CENTER OF COUNTER.
10. PROVIDE PLASTIC LAMINATE INSERTS FOR FRONTS OF UNDERCOUNTER REFRIGERATORS, ICEMAKERS AND DISHWASHERS.
11. PROVIDE FOAM RUBBER SILENCERS AT ALL DOOR AND DRAWER FRONTS.
12. FOR EXPOSED FINISHES ON MILLWORK REFER TO ELEVATIONS AND FINISH SCHEDULE NOTES.
13. PROVIDE MAGNETIC LATCHES AT ALL CABINET DOORS UNLESS NOTED OTHERWISE.
14. INSIDE OF ALL PLASTIC LAMINATE CABINETS AND DRAWERS SHALL RECEIVE TWO COATS CLEAR SEALER WHERE SINKS ARE INSTALLED.

## CABINET HARDWARE

1. DOOR AND DRAWER PULLS SHALL BE SOUTHERN HILLS POLISHED S/S SH3229-224-CHR-5
2. CONCEALED HINGES: "STANLEY" #1563-2, 110 DEGREE PIVOT OR APPROVED EQUIVALENT.
3. SOFT-CLOSING DRAWER SLIDES: "K&V" # 8550 HEAVY DUTY, FULL EXTENSION, DRAWER GLIDES (OR APPROVED EQUIVALENT)
4. CABINET LOCKS: "NATIONAL LOCK" #8102-4 OR APPROVED EQUIVALENT.
5. ELBOW CATCH: "IVES" #2
6. GROMMET: DOUG MOCKETT, MIN. 3" DIA., METAL FINISH AS SELECTED. LOCATIONS AS DETERMINED BY TENANT.
7. CATCHES: IVES #345
8. MINIMUM JOINT FASTENER: K&V #516
9. TRASH PULL OUT BIN HARDWARE -
10. TRASH GROMMET RING - S/S, 6" DIA.,
11. POWER/USB DEVICE -
12. UNDERCABINET AND UPLIGHTING - LED TAPE -

## PLASTIC LAMINATE (PLAM)

1. ALL CABINETS SHALL MEET OR EXCEED AWI "CUSTOM" CONSTRUCTION STANDARDS FOR FLUSH OVERLAY WITH REGARD TO ALL CONSTRUCTION METHODS, CONSTRUCTION MATERIALS, AND ALLOWABLE TOLERANCES.
2. ALL CABINET DOORS, DRAWER FRONTS AND SHELF EDGES SHALL BE SOLID STOCK MAPLE. THE ABOVE SHALL BE CONSTRUCTED IN A MANNER TO INSURE THE ABSENCE OF WARPAGE.
3. ALL EXPOSED PORTIONS OF CABINETS INCLUDING ALL SURFACES VISIBLE WHEN DOORS AND DRAWERS ARE CLOSED, BOTTOM OF CABINETS MORE THAN 48" A.F.F. AND ALL VISIBLE MEMBERS IN OPEN CASES SHALL HAVE PLASTIC LAMINATE.
4. ALL SEMI-EXPOSED PORTIONS OF CABINETS SUCH AS SHELVES BEHIND CLOSED DOORS, CABINET FRAME AND STILE AT DOOR AND DRAWER FRONTS SHALL HAVE PLASTIC LAMINATE.
5. ALL DOORS AND DRAWER FRONTS SHALL BE LAMINATED ON BOTH SIDES AND EDGES TO PREVENT WARPAGE.
6. ALL INTERIOR SURFACES SHALL BE THERMOFUSED PANEL, (COLOR TO BE DETERMINED) EXCEPT AT WET AREAS, INTERIOR SURFACES TO BE 7 PLY MAPLE/BIRCH W/RADIUS EDGES PLYWOOD AND SANDED FINISH SMOOTH AND RECEIVE TWO (2) COATS OF CLEAR SEALER.
7. PROVIDE 1/2" BLACK PAINTED BACK AND SIDE STOPS AT ALL MICROWAVES TO PREVENT MOVEMENT OF APPLIANCE.

## SHOP DRAWINGS REQUIRED

1. SHOW SIZES, QUANTITIES, MARKINGS, MATERIALS FINISHED, AND DIMENSIONED LOCATION OF INSTALLED HARDWARE.
2. MAKE ASSEMBLY AND INSTALLATION DRAWINGS TO SHOW METHODS OF FASTENING, BRACING, AND CONNECTING TO ALL OTHER TRADES. NOTE AND MARK SUFFICIENTLY TO INDICATE COMPLIANCE WITH REQUIREMENT OF THESE DOCUMENTS.
3. SHOP DRAWINGS TO NOTE ALLOWANCES FOR APPLIANCES AND CLEARANCES FROM OTHER SURFACES IF APPLICABLE.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK AND CABINETRY BEFORE CONSTRUCTION.

## COFFEE STATION & WASHROOM PLUMBING FIXTURES AND APPLIANCES

1. PROVIDE ELKAY SINGLE COMPARTMENT BOWL S/S SINK, 18 GA., SINK, SELF-RIMMING, THREE HOLE DRILL WITH PULL AWAY FAUCET, SINGLE HANDLE ADA CONTROL, OFFSET DRAIN FRONT TO BACK, BASKET STRAINER, SUPPLIES, STOPS, P-TRAP, THERMAL WRAP INSULATION PER TAS/ADA FOR ALL UNDERCOUNTER PLUMBING PIPING. VERIFY THAT SINK IS MOUNTED WITH MAX. ADA 19" REACH FROM FRONT EDGE OF COUNTERTOP TO FAUCET OR SPECIFIED BY ENGINEER.
2. PROVIDE EEMAX ELECTRIC INSTANTANEOUS WATER HEATER MOUNTED UNDER SINK. 2 KW MODEL NO. SP2412, 120V/SINGLE PHASE, WITH INTERGRAL FLOW RESTRICTOR. UNIT WILL MEET 1/2 GPM HAND WASHING REQUIREMENT, 120V//SINGLE PHASE OR AS SPECIFIED BY ENGINEER.
3. PROVIDE COLD WATER LINES TO ICE MAKER AND COFFEEMAKERS.
4. HOSHIZAKI ICE MACHINE WILL REQUIRE FLOOR DRAIN AND FILTERED COLD WATER LINE. (N/A)

### APPLIANCES & TVs (INSTALLED BY G.C.)

- A-1 REFRIGERATOR - FISHER & PAYKEL, FRENCH DOOR, S/S, RF201ADX5\_N. (RELOCATED. INSTALL ONLY)
- A-2 ICE MAKER - (RELOCATED. INSTALL ONLY)
- A-3 ALL TENANT FURNISHED HDTVs
- A-4 KEURIG COFFEE MAKERS WITH C.W. LINE

### APPLIANCES (FURNISHED AND INSTALLED BY G.C.)

- A-5 MICROWAVE - FISHER & PAYKEL, MO-24SS-3Y, TRADITIONAL, 24" WITH MOTTX-FP TRIM KIT. QTY: 2
- A-6 UNDERCOUNTER REFRIGERATOR TO MATCH EXISTING REFRIG IN CONFER SERVERY

### WASHROOM PLUMBING FIXTURES

1. PROVIDE TOTO, ATHERTON, LT221, RECTANGULAR UNDERCOUNTER WHITE LAVATORY, 17x13, ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW WITH FAUCET TO MATCH EXISTING WASHROOMS.
2. PROVIDE TOTO, AIMS, ELONGATED WATER CLOSET, SS-01326\_MS626124CEF(G)
3. PROVIDE BACK-LIT MIRRORS AS DETAILED.

Interior Alterations for

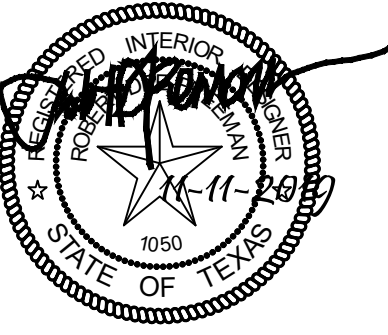
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## ISSUES



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Sheet Name  
INTERIOR ELEVATIONS  
& CABINET SPECS

Scale  
1/8" = 1'-0"  
U.N.O.

Sheet No.  
A.07



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