#### 1. CONTRACTOR SHALL REVIEW AND COMPARE THE CONSTRUCTION DOCUMENTS AND REPORT TO RDF PRIOR TO SUBMISSION OF FINAL BID ANY ERROR,

INCONSISTENCY, OR OMISSION HE MAY DISCOVER.

GENERAL CONTRACTOR NOTES

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PRIOR TO SUBMISSION OF PROPOSALS TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SCOPE OF THE WORK AND NOTIFY RDF IN WRITING OF ANY VARIATIONS OR DISCREPANCIES PRIOR TO BEGINNING OF CONSTRUCTION. NO WORK INVOLVING DISCREPANCIES SHALL PROCEED UNTIL APPROVED BY RDF. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR THAT CONDITIONS ARE CORRECT AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY. THE SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR. EQUIPMENT AND/OR MATERIAL REQUIRED, WILL NOT BE RECOGNIZED.

3. CONTRACTOR, UPON APPROVAL OF CONSTRUCTION PRICING, SHALL PREPARE AND SUBMIT FOR THE TENANT'S INFORMATION AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS.

4. CONTRACTOR SHALL MAINTAIN AT THE SITE, ONE RECORD COPY OF ALL DRAWINGS, ADDENDA, SPECIFICATIONS, SAMPLES AND MODIFICATIONS, CURRENTLY MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION.

A. CONTRACTOR SHALL REVIEW (RED-LINE IF NECESSARY), APPROVE AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR IN THE WORK OF THE TENANT OR ANY SEPARATE CONTRACTOR, ALL PRODUCT DATA AND SAMPLES REQUIRED.

B. APPROVAL AND SUBMITTAL OF PRODUCT DATA AND/OR SAMPLES, REPRESENTS THAT CONTRACTOR HAS VERIFIED ALL MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA OR WILL DO SO, AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTAL WITH THE REQUIREMENTS OF THE WORK AND OF THE CONSTRUCTION DOCUMENTS.

C. CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE TENANT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED FROM

D. CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION. IN WRITING OR ON RE-SUBMITTED PRODUCT DATA OR SAMPLES, TO REVISIONS OTHER THAN THOSE REQUESTED

RESPONSIBILITY FOR ERRORS OR OMISSIONS.

E. NO PORTION OF THE WORK REQUIRING SUBMISSION OF PRODUCT DATA OR SAMPLES SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN REVIEWED BY RDF. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SUBMITTAL.

F. PROVIDE THREE (3) SUBMITTALS OF ALL FINISH SAMPLES WITHIN FIRST WEEK OF PROJECT START DATE SAMPLES SUBMITTED SHALL BE NO LESS THAN A 12"x12" SAMPLE OF ACTUAL GOODS RESERVED FOR INSTALLATION ON THIS PROJECT.

G. CONTRACTOR SHALL DISTRIBUTE REQUIRED SAMPLES AS NECESSARY TO ALL SUBCONTRACTORS.

H. ANY SUBMITTALS WHICH DO NOT BEAR CONTRACTOR'S APPROVAL STAMP SHALL BE RETURNED WITHOUT REVIEW. CLEARLY INDENTIFY PRODUCTS OR MODELS WHICH ARE TO BE SUBMITTED FOR APPROVAL

J. EACH SUBMITTAL SHALL BE CLEARLY IDENTIFIED WITH THE MANUFACTURER'S NAME, THE CONTRACTOR'S NAME, THE SUBCONTRACTOR'S NAME AND TELE. NUMBER, THE NAME OF THE PROJECT AND THE DATE OF SUBMISSION.

K. CONTRACTOR SHALL MAKE ANY CORRECTIONS NOTED ON TENANT'S REVIEWED SUBMITTAL AND SHALL RE-SUBMIT CORRECTED SUBMITTAL AS REQUIRED.

L. APPROVAL OF SAMPLES OR PRODUCT DATA WHICH DEVIATES FROM THE CONSTRUCTION DOCUMENTS DOES NOT AUTHORIZE CHANGES TO THE CONTRACT SUM. SUBMIT IN WRITING AT THE TIME OF SUBMISSION ANY CHANGES TO THE CONTRACT SUM AND COMPLETION DATE AFFECTED BY SUCH SAMPLES OR PRODUCT DATA OTHERWISE, CLAIM FOR EXTRAS WILL NOT BE GRANTED.

M. THE CONTRACTOR, IMMEDIATELY UPON APPROVAL OF CONSTRUCTION PRICING, SHALL PREPARE AND SUBMIT FOR TENANT'S INFORMATION, A SCHEDULE OF ALL SUBMITTALS OF PRODUCT DATA AND SAMPLES.

5. CONTRACTOR TO SCHEDULE AND COORDINATE ALL

DOCUMENTS SUPPLIED BY RDF AND ALL OTHER CONSULTANTS AND TENANT'S SUPPLIERS (I.E. FLOORCOVERING, TELEPHONE, COMPUTER, SECURITY, ETC.). REFER TO CONSULTANTS' DRAWINGS (IF APPLICABLE) FOR INFORMATION PERTAINING TO HVAC SYSTEM, FIRE PROTECTION SYSTEMS, SECURITY SYSTEMS, SPECIAL ELECTRICAL REQUIREMENTS, ETC. CONSULTANT DRAWINGS ISSUED AFTER RDF'S DATE OF ISSUE SHALL BE REVIEWED BY RDF AND TENANT FOR AESTHETIC CONSIDERATIONS. EACH CONSULTING FIRM SHALL BE RESPONSIBLE FOR THE COMPLETE ENGINEERING. SPECIFICATIONS AND OPERATION OF THE SYSTEM IT DESIGNS.

6. TENANT MATERIALS/FINISHES, SPECIFIED OR NOT, SHALL BE SUBMITTED AND APPROVED BY RDF AND TENANT PRIOR TO APPLICATION.

7. CONTRACTOR TO PROPOSE AVAILABLE ALTERNATES AND PRICING FOR ITEMS REQUIRING EXTENDED LEAD TIME PREVENTING COMPLETED INSTALLATION BY PROJECTED MOVE-IN DATE. DURING BID PERIOD OR FIRST WEEK OF CONSTRUCTION.

8. OWNER AND TENANT SHALL UTILIZE RDF'S EXPERTISE CONCERNING COMPLETION OF VARIOUS ITEMS IN SPACE AND WILL ACCEPT RDF'S REASONABLE DETERMINATION REGARDING SUCH MATTERS.

9. CONTRACTOR AND ALL SUBCONTRACTORS TO CLEAN ALL AREAS DURING AND AFTER CONSTRUCTION AND MAKE READY FOR THE FOLLOWING TRADES.

10. PARTITION CONSTRUCTION DIMENSIONS ARE FROM INSIDE FACE OF GLASS MULLION OR FACE OF FINISHED PARTITION BELOW GLASS TO INSIDE FINISHED FACE OF INTERIOR PARTITION, AND FROM INSIDE FACE TO INSIDE FACE OF FINISHED PARTITION, UNLESS OTHERWISE NOTED.

11. DATA/ELECTRICAL OUTLETS CAN BE SCALED UNLESS OTHERWISE NOTED OR DIMENSIONED. ALL RECEPTACLES - EXISTING AND NEW SHALL BE SQUARE AND LEVEL. NO EXCEPTIONS.

12. IF DISCREPANCIES ARE DISCOVERED BETWEEN DRAWINGS AND SITE CONDITIONS, RDF SHALL BE NOTIFIED AT LEASE (2) DAYS IN ADVANCE OF REVIEW OF DOUBLE CHALK LINES PRIOR TO WALL CONSTRUCTION.

13. CONTRACTOR SHALL NOTIFY RDF OF ANY CONFLICT BETWEEN THE DRAWINGS AND GOVERNING CODES PRIOR TO BEGINNING CONSTRUCTION.

14. PLANS ARE DRAWN TO SCALE AS NOTED, BUT SHOULD NOT BE SCALED TO DETERMINE WALL/MILLWORK DIMENSIONS OR LOCATIONS OF SWITCHES (MAX. 6" FROM INSIDE OF DOOR JAMB).

15. IT SHALL BE THE CONTRACTOR'S FIRE PROTECTION SUB-CONTRACTOR'S RESPONSIBILITY TO VERIFY REQUIREMENTS AND QUANTITY OF FIRE PROTECTION DEVICES INCLUDING SMOKE DETECTORS, FIRE ALARMS, ALARM SPEAKERS, EXIT SIGNAGE, ETC.

16. CONTRACTOR SHALL COORDINATE ALL WORK TO ALLOW ACCESSIBILITY AND USE OF ALL ADJACENT SPACE

17. IF APPLICABLE FOR THIS BUILDING, CONTRACTOR SHALL VERIFY REQUIREMENT, AND PROVIDE FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS AS NECESSARY TO MEET LIFE SAFETY CODES. LOCATIONS OF THESE CABINETS ARE TO BE APPROVED BY RDF PRIOR TO INSTALLATION. (CABINETS TO BE PAINTED LATEX ENAMEL TO MATCH WALL COLOR.)

18. EACH TRADE SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK IN THE LEASE SPACE, COMMON CORRIDORS, RESTROOMS AND ELEVATOR LOBBY AND GENERAL PUBLIC AREAS. CLEAN EVERYDAY.

19. IF APPLICABLE ALL PUBLIC CORRIDOR FINISHES/MATERIALS TO BE EXTENDED AT RECESSED ENTRIES. (VERIFY AND COORD. THIS WORK WITH PROPERTY MANAGER)

20. CONTRACTOR TO PROVIDE ADDITIONAL CODE COMPLIANT ANCHORING AND/OR FIRE-RATED BLOCKING IN STUD PARTITIONS AS REQUIRED FOR CABINETS, GRAB BARS, ETC.

21. CONTRACTOR SHALL FLASH PATCH AREAS WHERE FLOOR IS IRREGULAR. CRACKED OR DAMAGED PRIOR TO INSTALLATION OF FLOORING, AND IS TO REMOVE ALL OBSTRUCTIONS.

22. IF APPLICABLE PUBLIC CORRIDORS AND REQUIRED FIRE EXIT WAYS SHALL BE CONSTRUCTED WITH FIRE RATINGS AS REQUIRED BY ALL GOVERNMENT AND APPLICABLE CODES. FIELD VERIFY CONDITION PRIOR TO SUBMITTING YOUR BID PROPOSAL.

23. PROVIDE END CAP AND SOUNDPROOF CLOSURE STRIPS/GASKETS WHERE PARTITIONS TERMINATE AT WINDOWS.

24. ALL CONSTRUCTION SHALL BE BUILDING STANDARD AND/OR TO "MATCH EXISTING" UNLESS DETAILED OR NOTED OTHERWISE. IDENTIFY ITEMS AND CONTACT RDF PRIOR FOR APPROVAL PRIOR TO ORDERING MATERIAL.

25. ALL PARTITION RETURNS SHALL HAVE METAL CORNER BEADS FLOOR TO CEILING. ALL EXPOSED SHEETROCK EDGES SHALL HAVE METAL "L" BEADS FLOOR TO

26. CONTRACTOR SHALL INSTALL (IF APPLICABLE) 3/4" PLYWOOD BACKBOARD FOR TELEPHONE EQUIPMENT WHICH SHALL BE PAINTED TO MATCH ADJACENT WALL PLYWOOD SHALL BE SMOOTH, SQUARE WITH EDGES FILLED AND SANDED SMOOTH. INSTALL WITH TOP OF PLYWOOD AT CEILING LINE, UNLESS NOTED OTHERWISE. (IF APPLICABLE)

27. WHEN REQUIRED, FURR OUT CORE & FIRE RATED WALLS AND COLUMNS AT ALL LOCATIONS WHERE ELECTRICAL, TELEPHONE OR PLUMBING OCCUR.

28. NEW PARTITION CONSTRUCTION MEETING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINT.

29. CONTRACTOR SHALL VERIFY AND COORDINATE KEYING SYSTEM WITH PROPERTY MANAGEMENT AND TENANT.

30. WALL ANGLES ARE EITHER 90 DEGREES OR 45 DEGREES UNLESS NOTED OTHERWISE.

31. CONTRACTOR AND SUBS SHALL FIELD VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND OPENINGS BEFORE CONSTRUCTION. NOTIFY RDF AND ENGINEER OF DISCREPANCIES PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ALL LOCATIONS OF TENANT AND OWNER-FURNISHED EQUIPMENT AND PREPARE ALL SURFACES ACCORDINGLY.

32. STRUCTURAL LOADING AT FLOORS AND ROOF SHALL BE CHECKED BY OWNERS' APPROVED CONSULTANT AND VERIFICATION SUBMITTED TO OWNER IN WRITING WHERE INDICATED.

33. VERIFY FLOOR PENETRATIONS WITH STRUCTURAL ENGINEER AND OWNER PRIOR TO COMMENCEMENT. ALL PENETRATIONS TO BE SEALED PER APPLICABLE CODE.

34. ANY PENETRATIONS IN SOUND INSULATED PORTIONS OF PIPES, DUCTS OR OTHER ELEMENTS ARE TO BE SEALED TO PREVENT SOUND TRANSMISSION.

35. FIREPROOFING IS TO BE OF NON-COMBUSTIBLE MATERIALS AND U.L. APPROVED.

# SYMBOLS, LEGENDS AND SCHEDULES

DRAWING ABBREVIATIONS AND SYMBOL MODIFIERS

ADA AMERICAN DISABILITY ACT AFF ABOVE FINISHED FLOOR

37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING APPLICATIONS AND PERMITS OF ALL PHASES OF THE WORK AS REQUIRED BY FEDERAL, STATE, COUNTY AND MUNICIPAL LAW.

38. FIELD VERIFICATION IS REQUIRED BY ALL TRADES AND SUBCONTRACTORS PRIOR TO BID DATE.

36. CONFLICTS BETWEEN THE MEP DRAWINGS (IF

MINIMUM OF 24 HRS. PRIOR TO BID DATE.

APPLICABLE) AND THE CONTRACT DOCUMENTS ARE TO

BE BROUGHT TO THE IMMEDIATE ATTENTION OF RDF A

39. RDF IS NOT RESPONSIBLE FOR DELIVERY DATES, PRODUCT AVAILABILITIES OR DISCONTINUATIONS. (CONTRACTOR TO SUBMIT IN WRITING TO TENANT AVAILABILITY AND LEAD TIMES FOR ALL ITEMS AFTER AWARD OF CONTRACT OR NO LATER THAN (5) FIVE WORKING DAYS AFTER START OF CONSTRUCTION, WHICHEVER COMES FIRST)

40. CONTRACTOR IS TO SUPPLY AND INSTALL CORRIDOR DOOR SMOKE SEALS AS REQUIRED BY LOCAL INSPECTORS.

41. ITEMS NOT NOTED ABOVE OR NOT CLEARLY NOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO RDF FOR REVIEW AND APPROVAL.

42. PLUS OR MINUS (±) DIMENSIONS FOR WALL CONSTRUCTON SHALL NOT VARY BY MORE THAN 2" WITHOUT APPROVAL BY RDF.

43. CONTRACTOR SHALL VERIFY CONDITIONS AND IMMEDIATELY NOTIFY RDF WHICH WOULD ADVERSELY AFFECT LIFE SAFETY ISSUES, INCLUDING STRUCTURAL BRACING/REINFORCING, IN FLOORS, WALLS, CABINETS, CEILINGS AND ELECTRICAL, CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE IF THE WORK IS PERFORMED WITHOUT PRIOR WRITTEN NOTIFICATION TO RDF AND TENANT.

44. ALL NEW AND EXISTING JBOXES AND COVERPLATES FOR ELEC. & DATA OUTLETS, AND SWITCHES SHALL BE SQUARE, PLUMB AND LEVEL. NO EXCEPTIONS.

45. ALL LAMPS (NEW AND EXSTG) SHALL BE THE SAME KELVIN TEMP. NO EXCEPTIONS.

47. PROVIDE PEMKO UNDERMOUNT AUTO DOOR SWEEP

46. UNDERCUT FOR ALL NEW DOORS SHALL NOT EXCEED 3/8".

AT LARGE GAP (EXCEEDING 1/2") AT BOTTOM OF EXISTING DOORS. 46. CONTRACTOR AND HIS ELECTRICIAN SHALL VERIFY

TVs AND FIXTURES. 47. REPAIR DAMAGE AND/OR FILL HOLES AND PAINT "LIKE NEW". EXTERIOR ALUMINUM WINDOW WALL SILLS

AND MULLIONS.

AND CONFIRM LOCATION AND HEIGHT OF ELEC. AND

DATA/TELE AT ALL CABINETS AND FOR WALL MOUNTED

(NOT ALL SYMBOLS USED)

AHU AIR HANDLING UNIT ALT ALTERNATE

BLDG BUILDING BS BUILDING STANDARD

CA CONTROLLED ACCESS CCTV CLOSED CIRCUIT TV CFM CUBIC FEET PER MINUTE CL CENTER LINE

CLG CEILING COL COLUMN CPT CARPET CT CFRAMIC TILE CW COLD WATER LINE

DC DEDICATED CIRCUIT DIA DIAMETER

DN DOWN DW DISHWASHER DWG DRAWING

EXST EXISTING

ELEC ELECTRICAL FLEV FLEVATOR EMT ELECTRIC METALLIC CONDUIT

EWC ELECTRIC WATER COOLER EXH EXHAUST

FA FIRE ALARM FACP FIRE ALARM CONTROL PANEL FCU FAN COIL UNIT

FD FLOOR DRAIN FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET TIGHT AND TOP EDGES ALIGN. NO EXCEPTIONS. FHC FIRE HOSE CABINET FV FIELD VERIFY

GA GAUGE GFI GROUND FAULT INTERRUPTER CIRCUIT

HP HORSEPOWER HR HOUR HTR HEATER HVAC HEATING VENTILATION AND AIR CONDITIONING

HZ HERTZ-FREQUENCY IN CYCLE

ICE ICE MAKER IN INCHES

PER SECOND

HB HOSE BIB

JB JUNCTION BOX

KV KILOVOLTS (THOUSAND VOLTS) KVA KILOVOLTS – AMPS (THOUSAND VOLT - AMPS) KW KILOWATT (THOUSAND WATTS) KWH KILOWATT HOUR

LAV LAVATORY LBS POUNDS LIVELOAD LTG LIGHTING

LTS LIGHTS

LVT LUXURY VINYL TILE MAX MAXIMUM MCB MAIN CIRCUIT BREAKER MECH MECHANICAL

MER MANUFACTURES MICRO MICROWAVE MIN MINIMUM MISC MISCELLANEOUS MTD MOUNTED MTG MOUNTING

NA NOT APPLICABLE NEC NATIONAL ELECTRICAL CODE NIC NOT IN CONTRACT NTS NOT TO SCALE

OC ON CENTER OFCI OWNER FURNISHED, CONTRACTOR INSTALLED OFOI OWNER FURNISHED, OWNER

OH OVERHEAD OPP OPPOSITE PH PHASE PLAMPLASTIC LAMINATE PNL PANEL BOARD

PSI POUND PER SQUARE INCH PVC POLYVINYL CHLORIDE PWR POWER

INSTALLED

QTY QUANTITY

R RELOCATE AS SHOWN R/A RETURN AIR RÉCEPT RECEPTACLE REF REFER TO REQ REQUIRED REFRG REFRIGERATOR

RD ROOF DRAIN RTU ROOF TOP UNIT

SA SUPPLY AIR SF SQUARE FOOT SIM SIMILAR SPECS SPECIFICATIONS

TSTAT THERMOSTAT

TV TELEVISION

TYP TYPICAL

SQ SQUARE S/S STAINLESS STEEL SW SWITCH SYM SYMMETRICAL

TAS TEXAS ACCESSIBILITY STNDS TC TIME CLOCK TEL TELEPHONE TEMP TEMPERATURE

U/C UNDERCABINET UL UNDERWRITERS LABORATORY UNO UNLESS NOTED OTHERWISE UPS UNINTERRUPTED POWER

VAV VARIABLE AIR VOLUME

W/ WITH W/O WITHOUT WCO WALL CLEAN OUT PARTITION

(NOT ALL SYMBOLS USED)

EXISTING WALL TO REMAIN NEW WALL - 3-5/8" MTL. STUD, 24" O.C., WITH 5/8" F.R., TYPE X, GYP. BRD. BOTH •••••••• NEW WALL - 2-1/2" MTL. STUD, 24" O.C., WITH 5/8" F.R., TYPE X, GYP.

BRD. BOTH SIDES NEW INTERIOR WALL WITH INSULATION IN WALL - SOUND BREAK GYP. WALL (ONE SIDE) NEW FLOOR TO DECK WALL WITH INSULATION

- SEAL AT TOP AND BOTTOM ☐((A) NEW DOOR, FRAME & FLOOR DOOR STOP -LETTER DENOTES HARDWARE -NUMBER DENOTES DOOR TYPE

\*\* (NO SYMBOL = EXISTING DOOR TO REMAIN, F.V. CONDITION, REPAIR AND TOUCH UP TO MATCH NEW

DOORS, DOOR FRAMES AND HARDWARE PROVIDE CUT SHEETS AND PRODUCT DATA. (NOT ALL SYMBOLS USED)

POWER 90 DEGREE

DOORS - AS NOTED BELOW DOOR FRAMES - RACO CLASSIC, 1-1/2" PROFILE, CLEAR ANODIZED ALUM. JOINERY AND SEAMS MUST BE

HERCULITE DOOR HARDWARE BOTTOM PIVOT - 1NT403 DOOR PATCHES - CRL NORTH AMERICAN DOOR, PH20CBS PULLS - CRL LADDER, 72", 72LPBS DOOR HEADER - CRL DCH4BSS, BRUSHED S/S HOLD OPEN - CRL 6760, ADJUSTABLE SPRING

ETCHING FILM - G.C. SHALL PROVIDE. MATCH EXISTING.

2 GLASS DOOR (FRAMELESS) - 3'-0" X 9'-0"H,

(FRAMELESS) - 3'-0" X 9'-0"H DOOR. S/S BAR

4 GLASS SLIDING DOOR (FRAMELESS) - 3'-0" X

5 GLASS, PAIR OF DOORS (FRAMELESS) - 3'-0" X

6 GLASS, CORNER UNIT (FRAMELESS) - 3'-0" X

7 S.C., PLANK FACED POCKET DOOR - 3'-0" x

8 PAIR OF S.C., PLANK FACED POCKET DOOR -

9 FRAMELESS SPECIAL WOOD DOOR WITH SOSS

10 FRAMELESS SPECIAL WOOD DOOR WITH SOSS

11 FRAMELESS SPECIAL WOOD DOOR WITH SOSS

HINGES - 3'-0" x 9'-0"H WITH PLANK SIDE PANEL

13 GLASS DOOR WITH 9" WIDE GLASS SIDE PANEL

EACH SIDE (FRAMELESS) - 3'-0" X 9'-0"H DOOR.

FROM EXEC. OFC. 113. SIZE WALL ACCORDINGLY.

S/S BAR PULL. REFER TO ELEVATION.

12 SOLID CORE, PAINT GRADE DOOR, 3'-0" x 9'-0"H

14 RELOCATED POCKET DOOR, FRAME AND HARDWARE

LEVER - SCHLAGE ND SERIES, ATHENS, 613 SATIN ALUM.

DOOR STOPS - CRL FLOOR MOUNTED, LOW PROFILE DOME

ELECTRIC STRIKE & RELEASE BUTTON - AS

APPLICABLE, PREP DOOR AND FRAME FOR SINGLE

DOOR. VERIFY LOCATION OF RELEASE BUTTON WITH

LC NEW CRL 72" LADDER STYLE, BACK-TO-BACK

M MECHANICAL LOCK - BLDG. STND., SATIN ALUM.

S REFER TO PARAMOUNT MILLWORK DRAWINGS

REGARDING PIVOT HINGES. LADDER PULL ON THE

SP REFER TO PARAMOUNT MILLWORK DRAWINGS

SL REFER TO PARAMOUNT MILLWORK DRAWINGS

REGARDING PIVOT HINGES. LADDER PULL ON RM 123

REGARDING PIVOT HINGES. LADDER PULLS ON BOTH

INSIDE OF RESTRMS & RM 125 ONLY, INSIDE

THUMBTURN PRIVACY SET WITH CLOSER.

ONLY, ADD CLOSER,

NEW CRL 72" LADDER STYLE, BACK-TO-BACK

FINISH, OFFICE FUNCTION 6 PIN BRASS CYLINDER E

KEYWAY. VERIFY AND CONFIRM WITH PROP. MGMT.

C LEVER LATCHSET WITH CLOSER

D LEVER LOCKSET WITH CLOSER

PULLS, BRUSHED STAINLESS STEEL

PULLS, BRUSHED S/S WITH CLOSER

HINGES  $-3'-0" \times 9'-0"H$ . S/S BAR PULL

HINGES - 3'-0" x 9'-0"H. TOUCH-LATCH HARDWARE.

BAR PULL ONLY ON THE INSIDE. REFER TO ELEVATION.

9'-0"H. S/S BAR PULL AS SHOWN. KLEIN EXTENDO

9'-0"H. S/S BAR PULL AS SHOWN. KLEIN-USA

WITH S/S BAR PULL. REFER TO ELEVATION.

3 GLASS DOOR WITH GLASS SIDE PANEL

PULL. REFER TO ELEVATION.

SLIDING DOOR SYSTEM.

9'-0"H. S/S BAR PULL

CORNER SYSTEM, OXXXXO.

9'-0"H

3'-0" x 9'-0"H

S/S BAR PULL

HARDWARE SCHEDULE

A LEVER LATCHSET

B LEVER LOCKSET

HERCULITE DOOR BRACKET (HDB) - SCHLAGE, M400 SERIES GLASS DOOR KIT C NEW LED CONTINUOUS LINEAR, PINNACLE EVOLUTION. SUSPENDED WITH CORNER (CH), FRAMELESS SLIDING DOOR SYSTEM BY KLEIN. PROVIDE \_\_\_ FINISH AT CONFER RM (NOT USED) MANUFACTURER'S PRODUCT INFORMATION.

ALCON, 1.1"Wx48"DIA., 47 WATTS, MULTIPLE MOUNTING, FINISH: SILVER IN OFC 127. (NOT USED) GLASS DOOR (FRAMELESS) - 3'-6" X 9'-0"H, WITH S/S BAR PULL. REFER TO ELEVATION. E NEW LED BACKLIT MIRROR AT EACH WASHROOM,

TOP & BOTTOM ONLY (REFER TO ELEVATIONS). PROVIDE JBOX. \_ \_ F NEW LED LIGHTING — ACCLAIM, CONTINUOUS TAPE LIGHTING CIRCUITED TO CEILING LIGHTING AND SWITCH. (REFER TO ELEVATIONS)

ELECTRICAL AND LIGHTING

(NOT ALL SYMBOLS USED)

EXISTING ELECTRICAL RECEPTACLE

(DC = DEDICATED CIRCUIT).

AFF UNLESS NOTED. ( 4 = DOUBLE DUPLEX),

NEW DATA/VOICE OUTLET MOUNTED AT 18"

AFF UNLESS NOTED OTHERWISE, JBOX WITH

RING AND NYLON PULL STRING (WH = WALL

NEW FLUSH MTD. FLOOR POKE-THRU, 3", (1)

POWER & (2) DATA RECEPTACLES

PLUGMOLD MOUNTED ABOVE THE COUNTER -

WIREMOLD SERIES AL2000, SINGLE CIRCUIT

NEW COLD WATER LINE - PROVIDE FOR

TENANT BASIS. VERIFY AND CONFIRM.

NEW JBOX (VERIFY LOCATION AND HEIGHT

NEW CARD READER OR CONTROLLED ACCESS

SINGLE POLE DECORA ROCKER SWITCH AT 48"

NEW LED 2"Wx3"Hx48" (CORRIDORS) &

72" (OFFICE) LINEAR, ALCON LIGHTING, FINISH:

NEW LED CIRCULAR SUSPENDED LIGHT -

BY TENANT, U.N.O. PROVIDE NYLON STRING

AND RING, PREP DOOR AND FRAME.

WALL MOUNTED OCCUPANCY SENSOR, MOUNT AT 48" AFF

₩ WALL MOUNTED LIGHT SWITCH ON DIMMER

B NEW LED 2"Wx3"Hx72" (OFFICE) LINEAR,

ALCON LIGHTING, FINISH: WHITE

WITH RECEPTACLES 12" O.C. - LENGTH AS

REFRG. WITH ICE MKR., D.W., ICE MAKER, AND

COFFEE MKR. AS REQUIRED ON A TENANT BY

■ EXISTING TELE/DATA OUTLET

HUNG AT 48" AFF)

PRIOR TO ROUGH-IN)

O G NEW LED DOWNLIGHT - 4" DIA., CLEAR ALZAK WITH WHITE TRIM. LITHONIA, LDN4 35/05 LO4AR LS MVOLT EZ10 TRW, DIMMING CONTROLLED

THE NEW SUSPENDED PENDANT LIGHT FIXTURE. NEO-RAY, DEFINE 2, LED, DIRECT PENDANT FROM TEXAS LIGHTING SOLUTIONS. 0168 = IFNGTH (VFRIFY)#S122DP-235-SC48-JB-0192-ID-UDD-I-S, SILVER, CIRCUITED CEILING LIGHT AND WALL SWITCH - EAST

CONFER. RM. ONLY

NEW EXIT LIGHT, CEILING MOUNT (SINGLE FACE & DOUBLE FACE AS REQUIRED WITH EMERGENCY BATTERY). CLEAR ACRYLIC BACK WITH GREEN LETTERS, WHITE HOUSING. - LIGHT FIXTURE INDUSTRIES,

NEW EXHAUST FAN, 12x12, WHITE CIRCUITED CEILING LIGHT AND WALL SWITCH AT EACH WASHROOM

ELRT-G, BB, W, (ROTATING EDGE LIT EXIT SIGN,

## DRAWING INDEX

# DESIGN DOCUMENTS

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A.03 FLOOR PLANS - PARTITION & POWER/COMM FLOOR PLANS - LIGHTING & FINISH A.04 A.05 INTERIOR ELEVATIONS

A.06 INTERIOR ELEVATIONS A.07 INTERIOR ELEVATIONS AND CABINET SPECS

# PROJECT INFORMATION

INTERIOR TENANT IMPROVEMENTS

LOCAL AUTHORITY HAVING JURISDICTION CITY OF FORT WORTH

APPLICABLE CODES

2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2017 NATIONAL ELECTRICAL CODE 2015 INTERNATIONAL FIRE CODE

ALL BUILDING CODES AND AMENDMENTS

2015 INTERNATIONAL ENERGY CONSERVATION CODE

CODE REQUIREMENTS OCCUPANCY GROUP TYPE: B-2 CONSTRUCTION TYPE: II-B. FULLY SPRINKLERED

# PRICING ALTERNATES

(IN YOUR CONSTRUCTION BID, BREAK OUT MATERIAL QTY., AND COST, LABOR COSTS, OH, PROFIT, AND SALES TAX FOR EACH ITEM BELOW)

ADD ALTERNATE - PROVIDE SMART GLASS/PDLC GLASS OR SWITCHABLE GLASS AT NEW EAST SIDE CONFERENCE ROOM GLASS DOORS

DEDUCT ALTERNATE - AT CONFER G103, NORTH WALL - GL SEAMAN DIRTT GLASS WALL SYSTEM WITH CONCEALED TV DISPLAY IN LIEU OF STEEL GRAY OAK WALL PANELING

DEDUCT ALTERNATE - AT CONFER G103, SOUTH WALL - GL SEAMAN DIRTT GLASS WALL SYSTEM WITH CONCEALED TV DISPLAY IN LIEU OF STEEL GRAY OAK WALL PANELING

ADD ALTERNATE - CONFER G102 & G103 ACOUSTICAL PLASTER CEILING-STARSILENT BY PYROK: https://www.starsilent.com/the-starsilent-syst They have different thicknesses of a sound absorbing substrate that can (and should) replace gypsum board for better sound absorption. We recommend the 25 mm board ). Sound absorption is further increased if insulation is laid on top of the system or attached to the underside of the deck above. There are also difference finishes such as Smooth. Superfine, etc. The Smooth finish is best in terms of sound absorption. Contact Andrew Sarcinella at Pyrok for information about StarSilent. He handles this part of the country. Andrew's mobile number is (914) 841-3677 and his e-mail is

andrew@pyrok.com.

KEY PLAN

# **EXPANSION**

Penthouse II - D & G 777 TAYLOR STREET

Interior Alterations for

KIMBELL

**ROYALTY** 

**PARTNERS** 



THE TEXAS BOARD OF ARCHITECTURAL EXAMINER 8213 SHOAL CREEK BLVD., SUITE 107, AUSTIN, TEXA 78758. TELEPHONE (512) 458-1363, HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE INTERIOR DESIGNER'S REGISTRATION LAW, TEXAS CIVIL STATUES, ARTICLES 249E.

CONSULTANTS ACOUSTICS/AV/ELV SYSTEMS MARSH I pmk

PROJECT CONTACTS DESIGN FIRM

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SUITE G TDLR Registration No. 

MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN OR SPECIFIED ARE MINIMUM REQUIREMENTS FOR PERFORMANCE STANDARDS. LOCAL JURISDICITIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL LOCAL REQUIREMENTS FOR LICENSING, MATERIALS, AND PERFORMANCE STANDARDS, PRIOR TO SUBMITTING BID. ALL CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE TENANT'S ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK (LOCAL REQUIREMENTS VERSUS SPECIFIED REQUIREMENTS) SHALL BE INCLUDED IN THE BID.

# NOTE TO CONTRACTOR

# Fort Worth, Texas 76102

No. 101793

Fort Worth 76185 817 307 1746

1130 East Arapaho Rd., Suite 580 Dallas Texas 75061 Contact: David Marsh, FASA - President Cell No. 469 964-9584 david.Marsh@marshpmk.com www.marshpmk.com

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PERMIT NO.

PB19-x

FOR CONSTRUCTION 11-11-2019

TABS\_2020005125 RDF Proj. No.

19\_0515

Sheet Name COVER SHEET AND

PROJECT INFORMATION

Scale Sheet No.

1/8" = 1'-0"

PLAN NORTH

U.N.O.



#### 4.2 SPACE ALLOWANCES AND REACH RANGES

# TAS SECTIONS 4.2.1 - WHEELCHAIR PASSAGE WIDTH

A. The minimum clear width for single wheelchair passage shall be 32" at a point and 36" continuously

#### TAS SECTIONS 4.2.2 - WIDTH FOR WHEELCHAIR PASSING

A. The minimum clear width for two wheelchairs to pass is 60"

#### TAS SECTIONS 4.2.4.1 - SIZE AND APPROACH

A. Minimum clear floor space for a wheelchair and occupant shall be 30" wide x 48" long. Clear floor space shall be centered on the element it serves.

#### 4.3 ACCESSIBLE ROUTE

#### TAS SECTIONS 4.3.2 - LOCATION

A. At least one accessible route shall be provided from public trans portation stops, accessible parking and loading zones, and public streets or sidewalks to the accessible building entrance.

#### TAS SECTIONS 4.3.3 - WIDTH

A. The minimum clear width of an accessible route shall be 36" except at doors.

#### TAS SECTIONS 4.3.4 - PASSING SPACE

A. If an accessible route is less than 60" in width, then passing spaces of at least 60"x60" shall be provided at 200' max. spacing.

#### TAS SECTONS 4.3.5 - HEAD ROOM

A. Accessible routes shall have 80" min. clear head room.

#### TAS SECTIONS 4.3.7 - SLOPE

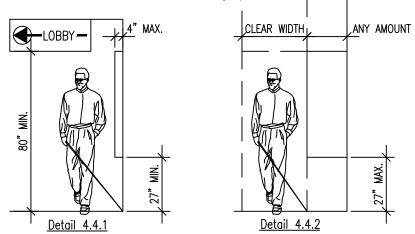
A. Running slope shall not exceed 1:20. (If slope exceeds 1:20, refer to section 4.8)

#### B. Cross slope shall not exceed 1:50

### 4.4 PROTRUDING OBJECTS (REFERENCE DETAIL 4.4.1 & 4.4.2)

#### TAS SECTIONS 4.4.1 - GENERAL

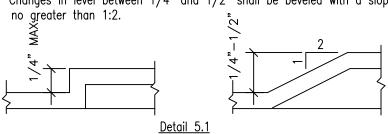
A. Objects projecting from walls (for example, telephones) with their leading edges between 27"-80" above the finished floor shall protrude no more than 4" into walks, halls, corridors, passageways, or aisles. Objects mounted with their leading edges at or below 27" above the finished floor may protrude any amount. Free-standing objects mounted on posts or pylons may overhang 12" maximum from 27"-80" above the ground or finished floor. Protruding objects shall not reduce the clear width of an accessible route or maneuvering space.



# 4.5 GROUND AND FLOOR SURFACES

# TAS SECTIONS 4.5.2 - CHANGES IN LEVEL (REFERENCE DETAIL. 5.1)

A. Changes in level up to 1/4" may be verticle and without edge treatment B. Changes in level between 1/4" and 1/2" shall be beveled with a slope



# TAS SECTIONS 4.5.3 - CARPET

A. Carpet provided on a floor surface shall be securely attached; have a firm pad or backing, or no pad; and have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Maximum pile thickness shall be 1/2". Exposed edges of carpet shall be fastened to floor surfaces and have trim along the exposed edges.

# TAS SECTIONS 4.5.4 - GRATINGS

A. If gratings are located in walking surfaces or along accessible routes, then they shall have spaces no greater than 1/2" wide in one direction.

B. If gratings have elongated openings, then they shall be placed so that

# the long dimension is perpendicular to the dominant direction of travel.

# TAS SECTIONS 4.6.3 - PARKING SPACES

A. Accessible parking shall be at least 96" wide.

4.6 PARKING AND PASSENGER LOADING ZONES

B. Parking access aisles shall be 60" wide. Van accessible access aisles shal be 96" wide.

C. Surface slope shall not exceed 1:50 in all directions (Note : no built up curb ramp may be located in an accessible parking

#### access aisle.) TAS SECTIONS 4.6.4 - SIGNAGE

A. Each accessible parking space must have individual vertically mounted or suspended sign. Required van accessible spaces must be designatred.

A. Characters and symbols on such signs shall be located 60" minimum above the ground.

B. Signage located within an accessible route shall be located 80" min. above the walking surface.

# TAS SECTIONS 4.6.5 - VERTICAL CLEARANCE

A. Provide minimum verticle clearance of 114" at accessible passenger loading zones and along at least one vehicle access route from site entrances and exits.

#### TAS SECTIONS 4.6.6 - PASSENGER LOADING ZONE

A. Passenger loading zones shall provide an access aisle at least 60" wide and 20 ft long adjacent and parallel to the vehicle pull-up space. If there are curbs between the access aisle and the vehicle pull-up space, then a curb ramp complying with 4.7 shall be provided. Vehicle standing spaces and access aisles shall be level with surface slopes not exceeding 1:50 in all directions.

#### 4.7 CURB RAMPS

# TAS SECTIONS 4.7.2 - SLOPE (REFERENCE DETAIL 4.7)

A. Slopes of curb ramps shall comply with 4.8.2.

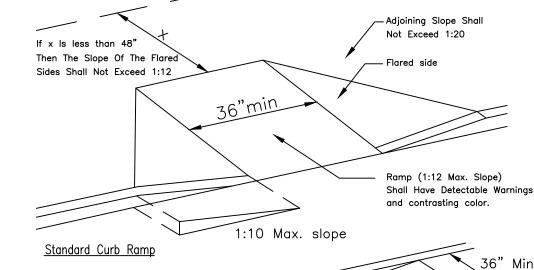
B. Maximum slopes of adjoining gutters, road surface immediately adjacent to the curb ramp, or accessible route shall not exceed 1:2

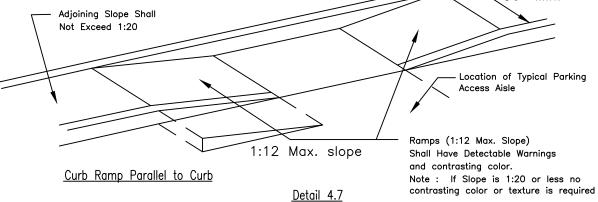
## TAS SECTIONS 4.7.3 – WIDTH (REFERENCE DETAIL 4.7)

A. The minimum width of a curb ramp shall be 36", exclusive of flared

#### TAS SECTIONS 4.7.5 - SIDES OF CURB RAMPS (REFERENCE DETAIL 4.7)

A. If a curb ramp is located where pedestrians must walk across the ramp or where it is not protected by handrails or guardrails, it shall have flared sides; the maximum slope of the flare shall be 1:10





#### TAS SECTIONS 4.7.10 - DIAGONAL CURB RAMPS

A. If diagonal curb ramps have returned curbs or other well-defined edges, such edges shall be parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have 48" minimum clear space. If diagonal curb ramps are provided at marked crossings, the 48" clear space shall be within the markings. If diagonal curb ramps have flared sides, they shall also have at least a 24" long segment of straight curb located on each side of the curb ramp and within the marked crossing.

# TAS SECTIONS 4.7.11 - ISLANDS

A. Any raised islands in crossings shall be cut through level with the street or curb ramps at both sides and a level area at least 48" long between the curb ramps in the part of the island intersected by the crossings.

# 4.8 RAMPS

# TAS SECTIONS 4.8.1 - GENERAL

A. Any part of an accessible route with a slope greater than 1:20 shall be considered a ramp and shall comply with 4.8

# TAS SECTIONS 4.8.2 - SLOPE AND RISE

A. The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any run shall be 30".

# TAS SECTIONS 4.8.3 - CLEAR WIDTH

A. The minimum clear width of a ramp 30 ft or less in length shall be 36". Ramps more than 30 ft. in length shall have a minimum clear

# TAS SECTION 4.8.4 - LANDINGS

A. Level landings required at top and bottom of each run, with the following features:

# 1. Minimum Width: Equal to width of ramp

2. Length: Minumum 60" clear

3. At change of direction landing shal be 60" x 60" min.

# TAS SECTION 4.8.5 - HANDRAILS

A. Handrails are required at all ramps with > 6" rise.

B. Height: 34-38" above ramp surface C. The clear space between the handrail and the wall shall be 1-1/2".

# TAS SECTIONS 4.8.7 - EDGE PROTECTION

A. Ramps and landings with drop offs shall have curbs, walls, railings, or projecting surfaces that prevent slipping off the ramp. Curbs shall be a minimum of 2" high.

# 4.9 STAIRS

# TAS SECTIONS 4.9.2 - TREADS AND RISERS

A. All steps on a flight of stairs shall have uniform riser heights and

1. Minimum tread depth shall be 11", measured from riser to riser (not including nosing) 2. Open risers are not permitted

# TAS SECTION 4.9.4 - HANDRAILS

A. Non-continuous handrails shall extend 12" beyond the top riser and 12" plus the width of one tread beyond the bottom riser. At the top, the extension shall be parallel to the floor. At the bottom, the handrail shall continue to slope for a distance of one tread width (11"); the remaining extension shall be horizontal.

B. Height: 34" - 38", measured from the stair nosing.

#### 4.9 STAIRS

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B. Height: 34" - 38", measured from the stair nosing.

# 4.10 ELEVATORS

# TAS SECTIONS 4.10.3 - HALL CALL BUTTONS

A. Shall be centered 42" above floor

#### TAS SECTIONS 4.10.4 - HALL LANTERNS

A. Visible signals shall have the following features:

1. Fixtures shall be mounted with centerline at least 72" above

2. Visual elements shall be at least 2-1/2" in the smallest dimension

#### TAS SECTIONS 4.10.5 - RAISED AND BRAILLE CHARACTERS ON HOISTWAY ENTRANCES

A. All elevator hoistway entrances shall have raised and Braille floor no. designations provided on both jambs. Centerline of the characters shall be 60" above the floor. Characters shall be 2" high.

#### TAS SECTIONS 4.10.6 - DOOR PROTECTIVE AND REOPENING DEVICE

A. Elevator doors shall open and close automatically. They shall be provided with a reopening device that will stop and reopen a car door and hoistway door automatically if the door becomes obstructed by an object or person.

## TAS SECTIONS 4.10.12 - CAR CONTROLS

A. All floor buttons shall be:

1. All control buttons shall be at least 3/4" in their smallest dim. They shall be flush or raised.

2. All control buttons shall be designated by Braille and by raised standard alphabet characters for letters, arabic characters for numerals. The call button for the main entry floor shall be designated by a raised

star at the left of the floor designation. 3. Maximum 54" above floor where side approach is provided

# 4. Maximum 48" where forward approach is provided

B. Emergency Controls: 1. Shall have centerlines 35" minimum above floor

2. Shall be grouped at bottom of panel C. The emergency communication system shall not require voice communication.

# 4.11 PLATFORM LIFTS

NOTE: REQUIRES A VARIANCE FROM THE T.D.L.R. TO USE IN LIEU OF AN ELEVATOR TAS SECTIONS 4.11.2. 4.27.3 — OTHER REQUIREMENTS

CONTROLS AND OPERATING SYSTEMS

# A. Heights permitted:

Controls and operating mechanisms shall be located for either a forward or side approach from any direction of travel. They shall be located 28" min. and 48" maximum above the floor. They shall be operable with one hand. There shall be at least one handrail complying with 4.26. Wheelstops and quardrails shall be provided where necessary.

# 4.13 DOORS

TAS SECTION 4.13.4 - DOUBLE - LEAF DOORWAYS A. Doorways with two independently operated leaves shall have at least one active leaf that meets the requirements in 4.13.5 and 4.13.6.

# TAS SECTION 4.13.5 - CLEAR WIDTH

A. Doorways shall provide a clear opening of 32" minimum, with the door

1. Clear opening shall be measured between the face of the door and

2. Openings more than 24" in depth shall provide a clear opening of 36" minimum.

Exception: Doors not requiring full user passage, such as shallow closets, shall have a clear opening of 20" minimum.

# TAS SECTION 4.13.6 - MANEUVERING CLEARANCES AT DOORS

Provide level (1:50 max. slope) and clear maueuvering area at doors as follows: A. Front approach pull side — 60" min. width & 18" min. beside strike edge

Front approach push side - 48" min width & 0" beside strike edge (12" @ strike if door has both a closer and a latch) B. Hinge side approach pull side - 60" min. width; 36" min. beside strike edge or - 54" min. width; 42" min. beside strike edge

Hinge side approach push side - 42" min. width & 18" min. bside hinge edge

(48"min. width if door has a closer)

(48"min. width if door has both a closer and a latch) C. Latch side approach pull side - 48" min. width and 24" min. beside strike edge (54"min. width if door has a closer) Latch side approach push side - 42" min. width and 24" min. beside strike edge

# TAS SECTION 4.13.8 - THRESHOLDS AT DOORWAYS

A. Maximum threshold height: 1/2" (3/4" at exterior sliding doors). Raised thresholds and floor level changes shall be beveled with a slope no greater than 1:2.

#### TAS SECTION 4.13.9 - DOOR HARDWARE

- A. Handles, pulls, latches, locks, and other operating devices shall have a shape that is easy to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate.
- 1. Lever-operated mechanisms, push-type mechanisms, and U-shaped
- handles are acceptable designs.
- 2. When sliding doors are fully open, operating hardware shall be exposed and usable from both sides.
- 3. Hardware required for accessibel door passage shall be mounted no higher than 48" above finished floor.

### TAS SECTION 4.13.10 - DOOR CLOSERS

A. If a door has a closer, then the sweep period of the closer shall be adjusted so that from an open position of 70°, the door will take at least 3 seconds to move to a point 3" from the latch, measured to the

### TAS SECTION 4.13.11 - DOOR OPENING FORCE

leading edge of the door.

A. The maximum force for pushing or pulling open a door shall be as

1. Fire doors shall have the minimum opening force allowable by the appropriate administrative authority.

2. Other doors

a. Exterior hinged doors: no requirement.

b. Interior hinged doors: 5.0 lbf.

c. Sliding or folding doors: 5.0 lbf.

These forces do not apply to the force required to retract latch bolts or disengage othe devices that may hold the door in a closed position.

#### 4.15 DRINKING FOUNTAINS

#### TAS SECTION 4.15.2 — SPOUT HEIGHT (REFERENCE DETAIL 4.15 for accessible unit)

- A. Accessible spouts shall be no higher than 36", measured from the floor or ground surface to the spout outlet.
- B. In addition to accessible unit, at least one drinking fountain shall be at standard height (may be "high/low" type if located in one location).

to the unit shall be provided.

- A. Spouts shall be located at the front of the unit and shall direct the water flow in a trajectory that is parallel or nearly parallel to the
- The spout shall provide a flow of water at least 4" high. 2. If the fountain has a round or oval bowl, the spout must be positioned so the flow of water is within 3" of the front edge of the fountain.

## TAS SECTION 4.15.4 - CONTROLS

TAS SECTION 4.15.3 - SPOUT LOCATION

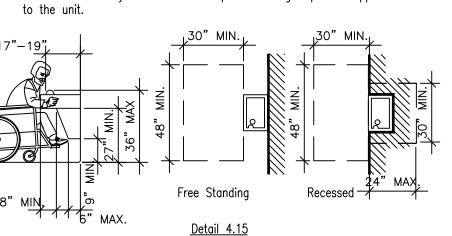
front of the unit.

A. Unit controls shall be front mounted or side mounted near the front edge. TAS SECTION 4.15.5 - CLEARANCES (REFERENCE DETAIL 4.15).

A. Wall and post mounted cantilever fountains shall have clear knee space as follows:

1. Minimum 27" high (from apron bottom to floor) minimum 30" wide, 2. A minimum 30" by 48" clear floor space allowing a forward approach

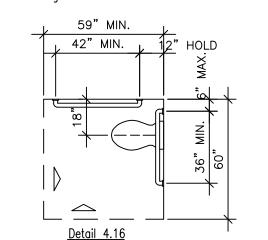
B. Free standing or built—in units not having a clear knee space shall have a minimum 30" by 48" clear floor space allowing a parallel approach



#### 4.16 WATER CLOSETS TAS SECTION 4.16.2 - CLEAR FLOOR SPACE

A. Clear floor space for water closets not in stalls shall be provided as Front approach - 48" min. wide x 66" min. long Side approach - 56" min. to front of toilet x 48" min. wide

#### Both approach - 60" min. wide x 56" min. long (Reference Detail 4.16) B. No doorswings are allowed in clear floor area.



# TAS SECTION 4.16.3 - HEIGHT (REFERENCE DETAIL 4.16.2)

A. The height to the top of the toilet seat shall be 17" - 19" above floor.

1. Seats shall not be sprung to return to a lifted position.

# TAS SECTIONS 4.16.4, 4.26 - GRAB BARS (REFERENCE DETAILS 4.16.1, 4.16.2 & 4.16.3)

- A. For water closets not located in toilet stalls, the following grab bars shall be provided, 33" - 36" above the finish floor:
- 1. Side wall: 42" long minimum, hold 12" min. from back wall.
  - 2. Back wall: 36" long minimum, 12" minimum each side of water

## TAS SECTIONS 4.16.5, 4.27.4 - FLUSH CONTROLS (REFERENCE DETAIL 4.16.3)

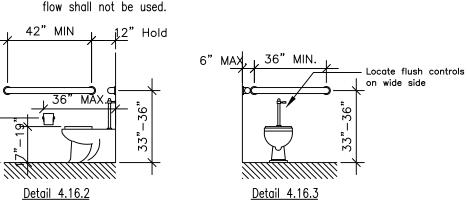
Refer to 4.26 Grab Bars for size and structural elements.

A. Controls shall be 44" maximum above the finish floor.

- 1. Lever controls or flush valves shall be mounted on the wide side of
- Controls shall be hand operated or automatic.
- Controls shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. 4. The force required to activate controls shall be no greater than 5lbf.

## TAS SECTION 4.16.6 - DISPENSERS (REFERENCE DETAIL 4.16.2)

- A. Toilet paper dispensers shall be installed on the side wall, a minimum 19" above the floor, and a maximum 36" from the
  - 1. Dispensers that control delivery or do not permit continuous paper



## 4.17 TOILET STALLS

TAS SECTION 4.22.4 - WHERE APPLICABLE A. If toilet stalls are provided in a toilet room or bathroom, then at least one shall be a "standard" accessible toilet stall (for wheelchair users)

complying with this section. (REFERENCE DETAIL 4.17.1) B. If 6 or more toilet stalls are provided in a toilet room or bathroom in addition to the 'standard' accessible stall required; an additional 'alternate A' accessible stall 36" wide (for ambulatory persons with disabilities) complying with this section shall be provided. (REFERENCE DETAIL 4.17.2)

#### 'standard' accessible stall is technically infeasible, or where plumbing code requirements prevent combining existing stalls to provide space, either 'alternate' stall (A or B) complying with this section may be provided in lieu of the standard stall. (Note :requires a variance from T.D.L.R.)

C. Alterations/Existing Conditions: In alteration work. where provision of a

TAS SECTION 4.17.3 - SIZE AND ARRANGEMENT (REFERENCE DETAIL 4.17) A. Toilet stalls may be arranged to provide either a left or a right handed

59" minimum depth, with floor mounted water closet

69" minimum depth, with floor mounted water closet

1. 'Standard' Accessible Stall

60" minimum width.

18" minimum width.

54" minimum depth.

56" minimum depth, with wall mounted water closet Door: outward swinging (if door swings into stall, depth shall be increased by 36". Stall doors must have 18" on pull strike jamb. 2. 'Alternate A' Accessible Stall (required when more than 6 stalls provided, permitted in lieu of standard stall only with a variance from T.D.L.R.) 36" width - hold this dim.

66" minimum depth with wall mounted water closet Door: outward swinging. 3. 'Alternate B' Accessible Stall (permitted in lieu of standard stall only with variance from T.D.L.R.)

Door : outward swinging. 56"min. w/ wall mtd. ' min .w/floor mt̩d. 66"min. w/ wall mtd. 42" MIN. 12 " HOLD 69" min. w/ floor mtd. 42" MIN. 2" HOLD 32" min. door

# TAS SECTION 4.17.4 - TOE CLEARANCES

A. In 'Standard' accessible stalls, the front partition and at least one side

Detail 4.17.2

partition shall provide a toe clearance of at least 9" above the floor. B. If the depth of the stall is greater than 60", the toe clearance is not required.

# TAS SECTION 4.17.5 - DOORS

A. Toilet stall doors, including hardware, shall comply with 4.13 DOORS

B. If toilet stall approach is from the latch side of the stall door, clearance between the door side of the stall and any obstruction shall be 42" minimum. (This is an exception from typical door maneuvering clearances)

# TAS SECTION 4.17.6 - GRAB BARS (REFERENCE DETAILS 4.16.2, 4.16.3, 4.17.1 & 4.17.2)

Refer to 4.26 Grab Bars for size and structural requirements.

A. Grab Bars shall be mounted 33" - 36" above the floor.

# KIMBELL **ROYALTY PARTNERS EXPANSION**

Interior Alterations for

Penthouse II - D & G 777 TAYLOR STREET Fort Worth, Texas 76102

**RDF**inc 4450 Oak Park Lane No. 101793 Fort Worth 76185



THE TEXAS BOARD OF ARCHITECTURAL EXAMINER 8213 SHOAL CREEK BLVD., SUITE 107, AUSTIN, TEXAS OVER INDIVIDUALS LICENSED UNDER THE INTERIOR DESIGNER'S REGISTRATION LAW, TEXAS CIVIL STATUES, ARTICLES 249E.

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Issues

PB19-x FOR CONSTRUCTION

TDLR Registration No.

TABS\_2020005125

11-11-2019

RDF Proj. No. 19\_0515

Sheet Name TEXAS ACCESSIBILITY

**GUIDELINES** 

Scale Sheet No. 1/8" = 1'-0" U.N.O.



RDF 2019

PLAN NORTH

#### 4.18 URINALS

#### TAS SECTION 4.18.2 - HEIGHT (REFERENCE DETAIL 12.3.1)

A. Urinals shall be stall—type or wallhung with a tapered, elongated rim at 17" maximum above the finished floor. The rim shall extend a minimum of 14" from the wall.

#### TAS SECTION 4.18.3 – CLEAR FLOOR SPACE (REFERENCE DETAIL 4.18.1)

- A. A clear floor space 30" wide by 48" deep minimum shall be provided in front of urinal to allow forward approach.
- 1. This space shall adjoin or overlap an accessible route.
- 2. Urinal shield that do not extend beyond the front edge of the
- 3. Urinals installed in alcoves deeper than 24" require a maneuvering

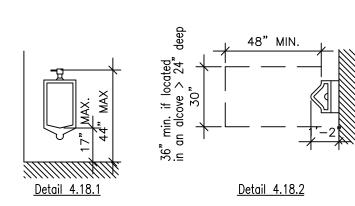
urinal rim may be provided with 29" clearence between them.

#### area of at least 36" minimum wide, centered on fixture. TAS SECTION 4.18.4 - FLUSH CONTROLS (REFERENCE DETAIL 4.18.2)

- A. Controls shall be 44" maximum above the finished floor.
  - 1. Controls shall be hand operated or automatic.
  - 2. Controls shall be operable with one hand and shall not require

tight grasping, pinching, or twisting of the wrist.

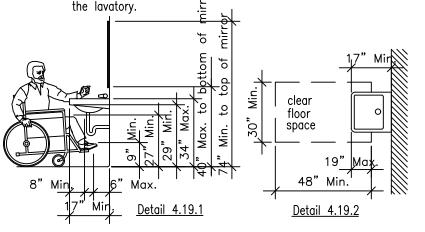
- 3. The force required to activate controls shall be no greater than 5 lfb.



#### 4.19 LAVATORIES & MIRRORS

TAS SECTION 4.19.2 - HEIGHT & CLEARANCES (REFERENCE DETAIL 4.19.1 & 4.19.2)

- A. Lavatories shall be mounted with the rim or counter surface no higher than 34" above the finished floor.
  - 1. Lavatories shall extend 17" minimum from the wall.
  - 2. Clearance of 29" minimum shall be provided from the finished floor to bottom of apron.
  - 3. Knee clearance of 27" minimum shall extend 8" minimum under the edge of the lavatory.
  - 4. Toe clearance of 9" minimum shall be provided for the full depth of



# TAS SECTION 4.19.4 - EXPOSED PIPES AND SURFACES

- A. Hot water and drain pipes under lavatories shall be insulated or otherwise configured to protect against contact.
- B. There shall be no sharp or abrasive surfaces under lavatories.

# TAS SECTIONS 4.19.5, 4.27.4 - FAUCETS

least 10 seconds.

- A. Controls shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist.
- B. The force required to activate controls shall be no greater than 5 lbf.
- C. Lever-operated, push-type, and electronically controlled mechanisms are examples of acceptable designs.
- D. If self-closing valves are used the faucet shall remain open for at

# TAS SECTION 4.19.6 - MIRRORS (REFERENCE DETAIL 4.19.1)

- A. Mirrors shall be mounted with the bottom edge of the reflecting surface 40" maximum above the finished floor.
- B. The top edge of the reflecting surface must be at least 74" AFF.

#### 4.22 TOILET ROOMS

#### TAS SECTIONS 4.22.2 - DOORS

A. All doors to accessible toilet rooms shall comply with 4.13. Doors shall not swing into clear floor space required for any fixture. Clear floor turning space may overlap door swings.

#### TAS SECTIONS 4.22.3 - CLEAR FLOOR SPACE

A. The accessible fixtures and controls required in 4.22.4, 4.22.5, 4.22.6 4.22.7 shall be on an accessible route. An unobstructed turning space complying with 4.2.3 shall be provided within an accessible toilet room. The clear floor space at fixtures and controls, the accessible route, and the turning space may overlap, however; the only turning space provided

#### TAS SECTIONS 4.22.4 - WATER CLOSETS

A. If toilet stalls are provided, then at least one shall be a standard toilet stall complying with 4.17; where 6 or more stalls are provided in addition to the stall complying with 4.17.3, at least one stall 36" wide with an outward swinging, self-closing door and parallel grab bars shall be provided. Water closets in such stalls shall comply with 4.16.

#### TAS SECTIONS 4.22.5 - URINALS

A. If urinals are provided, then at least one shall comply with 4.18.

#### TAS SECTIONS 4.22.6 - LAVATORIES AND MIRRORS

A. If lavatories and mirrors are provided, then at least one of each shall comply with 4.19. Accessible lavatories and mirrors shall not be located vithin toilet stalls unless other accessible lavatories and mirrors are provided in the toilet room.

#### TAS SECTIONS 4.22.7 - CONTROLS AND DISPENSERS

A. If controls, dispencers, receptacles, or other equipment are provided, then at least one of each shall be on an accessible route and shall comply with 4.27 — (Controls & Operating Mechanisms).

#### 4.23 - BATHROOMS, BATHING FACILITIES, AND SHOWER ROOMS

#### TAS SECTION 4.23.8 - BATHING AND SHOWER FACILITIES

A. In addition to the requirements of 4.22. toilet rooms If tubs and showers are provided, then at least one accessible tub that complies with 4.20 or at least one accessible shower that complies with 4.21 shall be provided

#### <u>4.24 – SINKS</u>

#### TAS SECTION 4.24.2 - HEIGHT

A. Sinks shall be mounted with the rim or counter surface no higher than 34" above the finished floor.

### TAS SECTIONS 4.24.3 - KNEE CLEARANCE

A. Knee clearance of 27" high minimum, 30" wide minimum, and 19" deep minimum shall be provided underneath sinks.

#### TAS SECTION 4.24.4 - DEPTH

A. Each sink shall be a maximum of 6-1/2" deep.

# TAS SECTION 4.24.6 - EXPOSED PIPES AND SURFACES

- A. Hot water and drain pipes under sinks shall be insulated or otherwise configured to protext against contact.
- B. There shall be no sharp or abrasive surfaces under sinks.

# TAS SECTION 4.24.7, 4.27.4 - FAUCETS

- A. Controls shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist.
- B. The force required to activate controls shall be no greater than 5 lbf.
- C. Lever-operated, push-type, and electronically controlled mechanisms are examples of acceptable designs.
- D. If self-closing valves are used the faucet shall remain open for at least 10 seconds.

# 4.25 - STORAGE

# TAS SECTION 4.25.1 - DEPTH (REFERENCE DETAIL 4.25.1)

A. Storage areas may be 36" in depth or less. If more than 36" in depth then area must allow 60" diameter of clear floor space for turning.

# TAS SECTION 4.25.2 - CLEAR FLOOR SPACE: (REFERENCE DETAIL 4.25.2)

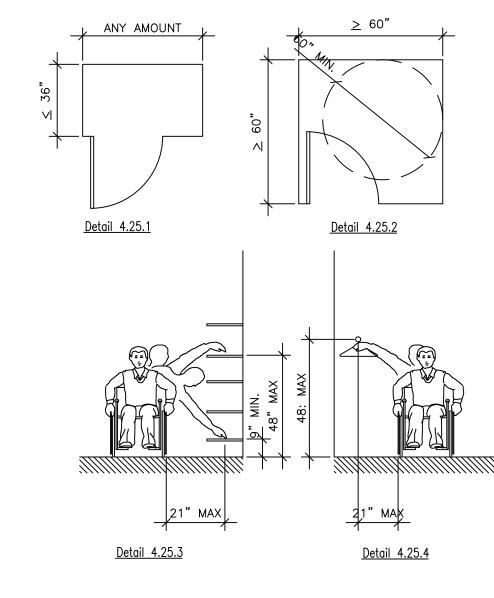
# TAS SECTION 4.25.3 - HEIGHT (REFERENCE DETAIL 14.3 AND 4.25.3 & 4.25.4)

- A. Where a forward reach is required, accessible storage spaces shall be 48" maximum and 15" minimum above the floor. If the forward reach is over an obstruction (with knee space equal to or greater than reach distance) 20"-25" deep, the maximum height shall be 44"; if the obstruction is less than 20", maximum height shall be 48".
- B. Where a side reach is provided, accessible storage spaces shall be 54" maximum and 9" minimum above the floor. Maximum height shall be 46" for side reach over an obstruction 34" maximum high and 24" maximum deep.
- C. Clothes rods or shelves shall be a maximum 54" above floor where a side reach is required.
- D. Where the distance from the wheelchair to the clothes rod or shelf exceeds 10" (as at closets with inaccessible doors) the following criteria shall be met:
- 1. Shelves: Reach: 21" maximum; height: 48" maximum, 9" minimum.

# 2. Clothes rods: reach 21" maximum; height: 48" maximum.

#### TAS SECTIONS 4.25.4, 4.27.4 - HARDWARE

- A. Hardware for accessible storage facilities shall be operable with one hand and shall not require tight grasping, pinching, or tisting of the wrist.
- B. The force required to activate the hardware shall be no greater than 5 lbf



### <u>4.26 – GRAB BARS</u>

#### TAS SECTION 4.26.2 - SIZE AND SPACING

- A. Diameter or width of gripping surface shall be 1-1/4" to 1-1/2", or the shape shall provide an equivalent gripping surface.
- 1. The space between grab bars and adjacent walls shall be 1-1/2"

#### TAS SECTION 4.26.3 - STRUCTURAL STRENGTH

- A. Grab bars and mounting devices shall meet the following requirements:
- 1. Bending stress induced by maximum bending moment from application of 250 lbf shall be less than allowable stress for material used.
- 2. Shear stress induced by application of 250 lbf shall be less than allowable shear stress for material used. If connection between grab bar and mounting bracket is considered to be fully restrained. then direct and torsional shear stresses shall be totaled for the combined shear stress, which shall not exceed the allowable shear stress.
- 3. Shear force induced in a fastener or mounting device from application of 250 lbf shall be less than allowable lateral load of either the fastener or mounting device or the supporting structure. whichever is the smaller allowable load.
- 4. Tensile force induced in a fastener by a direct tension force of 250 lbf plus the maximum moment from the application of 250 lbf shall be less than the allowable withdrawal load between the fastener and the supporting structure.
- 5. Grab bars shall not rotate within their fittings.

# TAS SECTION 4.26.4 - ELIMINATING HAZARDS

- A. Grab bars and adjacent wall surfaces shall be free of sharp or abrasive
- B. Edges shall have a radius of 1/8" minimum.

# 4.27 - CONTROLS AND OPERATING MECHANISMSS

# TAS SECTION 4.27.3 — HEIGHT (REFERENCE DETAIL 4.30.3)

- A. Front approach 48" max. to 15" min. Controls located in an alcove >24" deep must have 36" clear floor width.
- B. Side approach 54" max. to 9" min., except per below.
- C. Electrical & communication system recepticals shall be mounted no less

# than 15" above the floor.

# <u>4.28 – ALARMS</u>

# TAS SECTION 4.28.1 - GENERAL

A. When required, visual alarms shall be provided in each of the following areas, as a minimum: restrooms and any other general usage areas (e.g., meeting rooms), hallways, lobbies, and any other area for common use.

# TAS SECTION 4.28.2 - AUDIBLE ALARMS

- A. If provided, audible alarms shall produce a sound that exceeds the prevailing equivalent sound level in the room or space by at least 15 dba or exceeds any maximum sound level with a duration of 60 seconds by 5 dba, whichever is louder.
- B. Sound levels for alarm signals shall not exceed 120 dba.

#### TAS SECTION 4.28.3 - VISUAL ALARMS

- A. Visual alarm signal appliances shall be integrated into the building or facility alarm system. If single station audible alarms are provided then single station visual alarm signals shall be provided.
  - Visual Alarm appliances shall have the following features:
  - 1. The lamp shall be a xenon strobe type or equilarent.
  - 2. The color shall be clear or nominal white (i.e. unfiltered or clear filtered white light).
  - 3. The maximum pulse duration shall be two-tenths of one second with a maximum duty cycle of 40%. (The pulse duration is defined as the time interval between initial and final points of 10% of max signal)
  - 4. The intensity shall be a minimum of 75 candela.
  - 5. The flash rate shall be a minimum of 1 Hz and a maximum of 3 Hz
  - 6. The appliance shall be placed 80" above the highest floor level within the space or 6" below the ceiling, whichever is lower.
  - 7. In general, no place in any room or space shall be more than 50' from the signal (measured in a horizontal plane). a. In large rooms and spaces exceeding 100' across, without

obstructions 6' above the finished floor, such as auditoriums,

devices may be place around the perimeter, spaced a maximum 100' apart, in lieu of suspending appliances from the ceiling.

#### 8. No place in common corridors or hallways shall be more than 50' from the signal.

#### 4.30 – SIGNAGE

## TAS SECTIONS 4.1.2(7), 4.1.3(16)(a) — WHERE APPLICABLE

- A. Signs which designate permament rooms and spaces shall comply with the requirements listed below for:
  - 1. Raised and Braille Characters, and Pictograms
  - 2. Finish and Contrast

Exception: Employee name signs are not required to comply.

## TAS SECTIONS 4.1.2(7), 4.1.3(16)(b) - WHERE APPLICABLE

- A. Signs which provide direction to, or information about, functional spaces of the building shall comply with the requirements listed below for:
  - 1. Character Proportion
  - 2. Character Height
  - 3. Finish and Contrast

Exception: Building directories, menus, and all other signs which are temporary are not required to comply.

## TAS SECTION 4.1.2(7) — WHERE APPLICABLE (REFERANCE DETAIL 4.30.1)

- A. Element and spaces of accessible facilities which shall be identified by the International Symbol of Accessibility are:
  - 1. Parking spaces designated as reserved for persons with disabilities.
  - 2. Accessible passenger loading zones.
- 3. Accessible entrances when not all are accessible (inaccessible entrances shall have directional signage to indicate route to nearest accessible entrance).
- 4. Accessible toilet and bathing facilities when not all are accessible.

TAS SECTION 4.30.2 - CHARACTER PROPORTION (REFERENCE DETAIL 4.30.2) A. Letters and numbers on signs shall have a width—to—height ratio between 3:5 and 1:1, and a stroke-width-to-height ratio between

#### 1:5 and 1:10. TAS SECTION 4.30.3 - OVERHEAD SIGNS

- A. Characters and numbers on overhead signs shall be sized according to
- the viewing distance from which they are to be read. 1. For signs higher than 80" above the finished floor, character size
- shall be 3" minimum.
- 2. The minimum height is measured using an upper case X.

#### 3. Lower case letters are permitted. TAS SECTION 4.30.4 - RAISED AND BRAILLE CHARCTERS AND PICTOGRAMS

- A. Letter and numerals shall be raised 1/32", upper case, sans serif and shall be accompanied by grade 2 Braille.
- 1. Raised character height: 5/8" minimum, 2" high maximum
- 2. Pictograms shall be accompanied by the equivalent verbal description placed directly below the pictogram.
- 3. The border dimension of the pictogram shall be 6" minimum

#### TAS SECTION 4.30.5 - FINISH AND CONTRAST A. The character and background of the signs shall be eggshell, matte, or other non-glare finish. Charcters and symbols shall contrast with their

bachground (either light characters on a dark background or dark

characters on a light background).

- A. Where permanent identification is provided for rooms and spaces,
- B. Where there is no wall space to the latch side of the door, including at
- double-leaf doors, signs shall be placed on the nearest adjacent wall.
- of the sign.
- D. Mounting location for such signage shall be so that a person may approach within 3" of signage without encountering protruding objects or standing within the swing of a door.

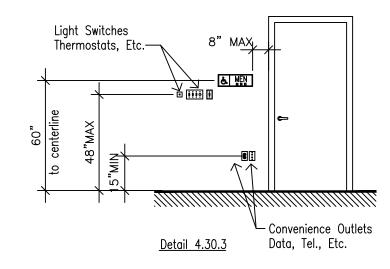


type and shall be accompanied with grade 2 Braille, rasied characters shall be at least 5/8" high, but no higher than 2". International Symbol of Accessibilty

a stroke - width to height ratio between

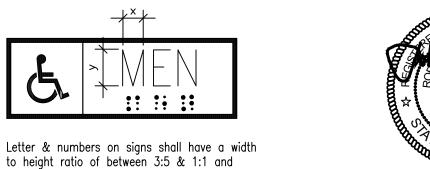
1:5 & 1:10. Letters and numbers shall be raised

<u>Detail 4.30.1</u> <u>Detail 4.30.2</u>



#### TAS SECTION 4.30.6 - MOUNTING LOCATION AND HEIGHT (REFERENCE DETAIL 4.30.3)

- signs shall be installed on the wall adjacent to the latch side of the door.
- C. Mounting height shall be 60" above the finished floor to the centerline
  - **RDF**inc 4450 Oak Park Lane



1/32", upper case, sans serif or simple serif STATUES, ARTICLES 249E.

#### CONSULTANTS ACOUSTICS/AV/ELV SYSTEMS MARSH I pmk 1130 East Arapaho Rd., Suite 580 Dallas Texas 75061 Contact: David Marsh, FASA - President

DESIGN FIRM RDF, Inc. P.O. Box 101793 Fort Worth, Texas 76185 Contact: Bob Freeman

KIMBELL ROYALTY PARTNERS 777 Taylor Street, Suite PII-C Fort Worth, Texas 76102 Carlie C. Kaehr Contact: Blaine Brewer

Carlie's Cell: (903) 330-1910

Blaine's Cell: carlie@kimbellrp.com blaine@kimbellrp.com Landlord: THE FORT WORTH CLUB 777 Taylor Street, 11th Floor Fort Worth, Texas 76102

cprice@fortworthclub.com Email: GENERAL CONTRACTOR 2225 West Petersmith Street Fort Worth, Texas 76102 Contact: Tim Scott Ofc No. 817 335-8274 Fax No. 817 336-8274

817 999-6290

tim@tarrantconstruction.com

Email:

Cell No.

FOR CONSTRUCTION 11-11-2019

Sheet Name TEXAS ACCESSIBILITY

**GUIDELINES** 

Scale 1/8" = 1'-0"







THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS 78758. TELEPHONE (512) 458-1363. HAS JURISDICTION DESIGNER'S REGISTRATION LAW, TEXAS CIVIL

Interior Alterations for

KIMBELL

**ROYALTY** 

**PARTNERS** 

**EXPANSION** 

Penthouse II - D & G

777 TAYLOR STREET

Fort Worth, Texas 76102

No. 101793

817 307 1746

Fort Worth 76185

Cell No. 469 964-9584 Email: david.Marsh@marshpmk.com www.marshpmk.com PROJECT CONTACTS

Ofc No. 817 307-1746 Email: bobf@rdfinc.com

LANDLORD & PROPERTY MANAGEMENT Property Mgmt: THE FORT WORTH CLUB Contact: Cindy Price Ofc No. 817 338-3485 Fax No. 817 335-7737

Tarrant Construction Services, Inc.

Issues

PERMIT NO. PB19-x

TDLR Registration No. TABS\_2020005125

RDF Proj. No.

19\_0515

Sheet No. U.N.O.





FIELD FASTENER, TYP (BY OTHERS)

MULLION MATE HIGH STC IS PATENT PENDING.

PROPOSED HIGH STC

06 WALL TO MULLION DETAIL

NOTE: FIELD CAULKING REQUIRED. A PAINTABLE CAULK IS SUPPLIED WITH EACH ORDER TO SEAL EDGES FOR HIGHER STC RATING.

HIGH STC RATE

OPTIONAL BRAKE FORMED

2 7/8" MIN TO 3 15/16"

COFFEE n

06/A05

05 ENLARGED PLAN

1/4" = 1'-0"
. . . .

04 ENLARGED PLAN

1/4" = 1'-0"

& COPY D102

13'-11"

•

03 ENLARGED PLAN

1/4" = 1'-0"

# PARTITION PLAN NOTES

NOTE: • • • •

I. G.C. SHALL PROVIDE CHALK LINES FOR WALLS, MARKINGS FOR ELEC/DATA, AND PLUMBING, FOR REVIEW WITH RDF PRIOR TO SECURING METAL FLOOR TRACKS, AND ROUGHING IN. 3. REPLACE SOLAR FILM ON WINDOWS WHERE DAMAGED AND

4. INSTALL 5/8" SOUND BREAK ON ONE SIDE AND ON THE CEILING AT ALL WASHROOMS.

5. EACH OFFICE AND CONFER RM WALL SHALL HAVE 5/8" SOUND

ROCK ONE SIDE OF WALLS.

6. ALL WALLS SHALL HAVE 3.5" BATT INSULATION WITHIN AND ABOVE CEILINGS OVERLAPPING 24" EACH SIDE. 7. PROVIDE CONSTRUCTION AND SOUND SUPPRESSION METHODS

TO PREVENT ANY AND ALL SOUNDS FROM THE NEW WASH ROOMS AND ADJACENT ROOMS.

# **POWER/COMM PLAN NOTES**

NOTE: • • • •

I. ALL EXISTING AND REUSED ELECTRICAL RECEPTACLES AND DATA OUTLETS AND COVER PLATES SHALL BE CHANGED OUT TO BE WHITE OR LIGHT GREY AT WOOD SURFACES. VERIFY BY RDF. 2. REMOVE ALL ABANDONED RECEPTACLES, PATCH AND FINISH. 3. ALL RECEPTACLES AND SWITCHES SHALL BE NEW, AND INSTALLED SQUARE, PLUMB AND LEVEL. NO EXCEPTIONS. 4. SCHED. & COORD. WITH FURN. INSTALLER REGARDING POWER & DATA LOCATIONS TO MODULAR FURNITURE AND CONFERENCE TABLE.

5. COORDINATE AND CONFIRM LOCATION OF ALL CONTROLLED ACCESS DEVICES PRIOR TO ROUGH-INS.

6. COORDINATE AND CONFIRM LOCATIONS OF ALL SPEAKERS PRIOR TO ROUGH-INS.

> DRYWALL AND **ELECTRICAL TRADES** SHALL CONFIRM FRAMING CONDITIONS WITH MILLWORKER PRIOR TO ROUGH-INS.

KIMBELL ROYALTY **PARTNERS** 

Interior Alterations for

**EXPANSION** Penthouse II - D & G 777 TAYLOR STREET

Fort Worth, Texas 76102

4450 Oak Park Lane No. 101793

Fort Worth 76185





8213 SHOAL CREEK BLVD., SUITE 107, AUSTIN, TEXAS 78758. TELEPHONE (512) 458-1363, HAS JURISDICTION VER INDIVIDUALS LICENSED UNDER THE INTERIOR DESIGNER'S REGISTRATION LAW, TEXAS CIVIL STATUES, ARTICLES 249E.

CONSULTANTS ACOUSTICS/AV/ELV SYSTEMS MARSH I pmk 1130 East Arapaho Rd., Suite 580 Dallas Texas 75061 Contact: David Marsh, FASA - President Cell No. 469 964-9584 Email: david.Marsh@marshpmk.com www.marshpmk.com

PROJECT CONTACTS DESIGN FIRM RDF, Inc. P.O. Box 101793 Fort Worth, Texas 76185 Contact: Bob Freeman Ofc No. 817 307-1746 Email: bobf@rdfinc.com

KIMBELL ROYALTY PARTNERS 777 Taylor Street, Suite PII-C Fort Worth, Texas 76102 Contact: Carlie C. Kaehr Blaine Brewer

Carlie's Cell: (903) 330-1910 Blaine's Cell: carlie@kimbellrp.com blaine@kimbellrp.com

LANDLORD & PROPERTY MANAGEMENT Landlord: THE FORT WORTH CLUB Property Mgmt: THE FORT WORTH CLUB 777 Taylor Street, 11th Floor Fort Worth, Texas 76102 Contact: Cindy Price 817 338 – 3485 Ofc No.

Fax No. 817 335-7737 cprice@fortworthclub.com GENERAL CONTRACTOR Tarrant Construction Services, Inc. 2225 West Petersmith Street Fort Worth, Texas 76102 Contact: Tim Scott Ofc No. 817 335-8274 Fax No. 817 336-8274

817 999-6290 tim@tarrantconstruction.com

Issues <u>√1</u> x

PERMIT NO. PB19-x

FOR CONSTRUCTION 11-11-2019

TDLR Registration No. TABS\_2020005125

RDF Proj. No. 19\_0515

Sheet Name

FLOOR PLANS, NOTES, DOOR AND WALL TYPES

Scale 1/8" = 1'-0"

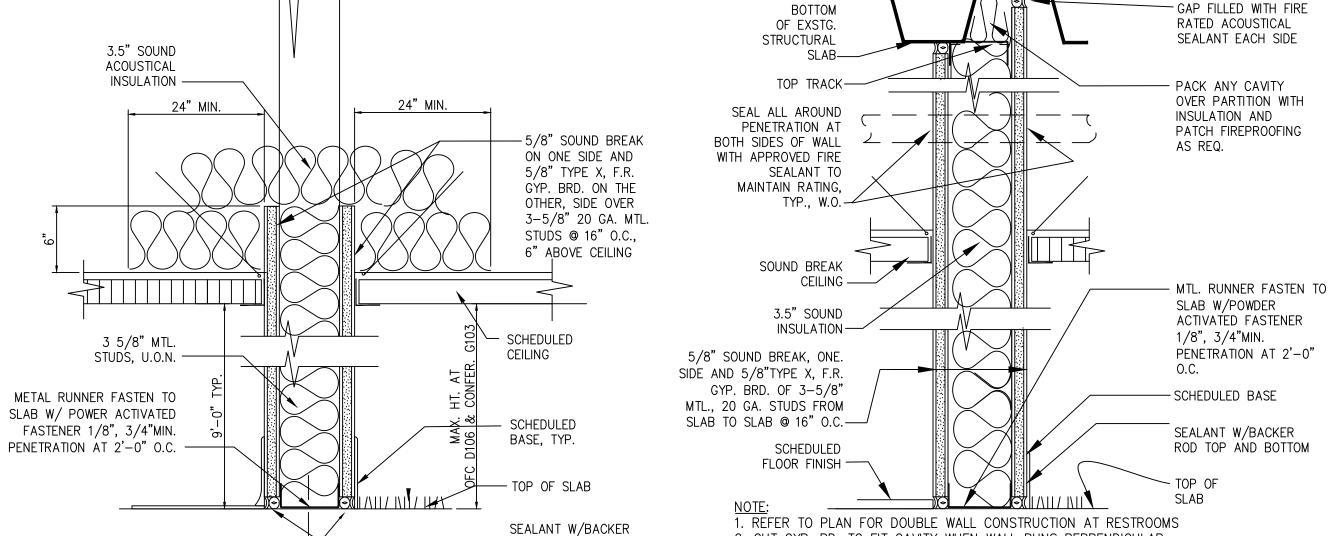
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A.03

RDF 2019

Sheet No.





-ROD, TYP. BOTH

TYPICAL OFC

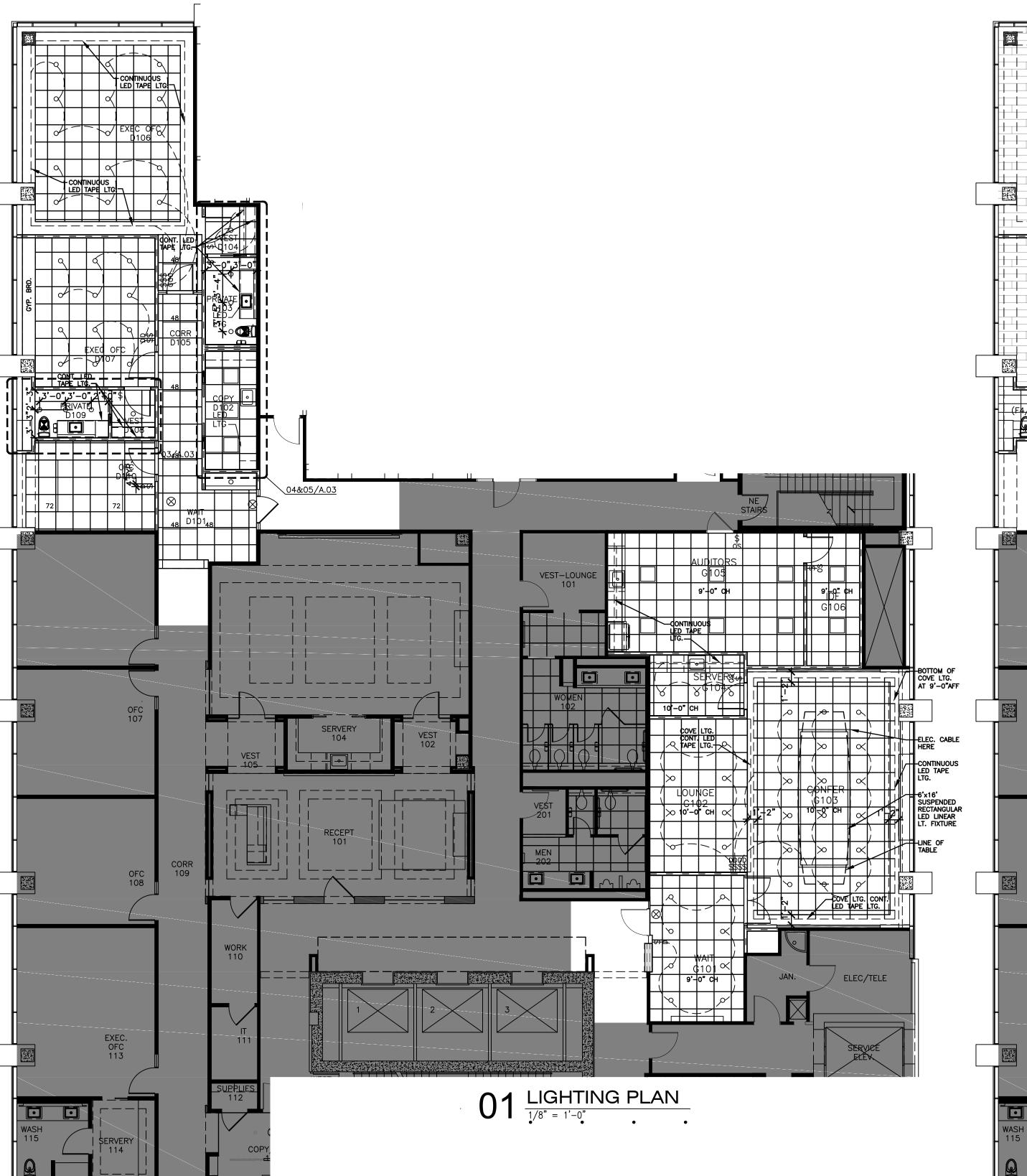
 $07 \frac{\text{PARTITION TYPE}}{3'' = 1'-0''}$ 

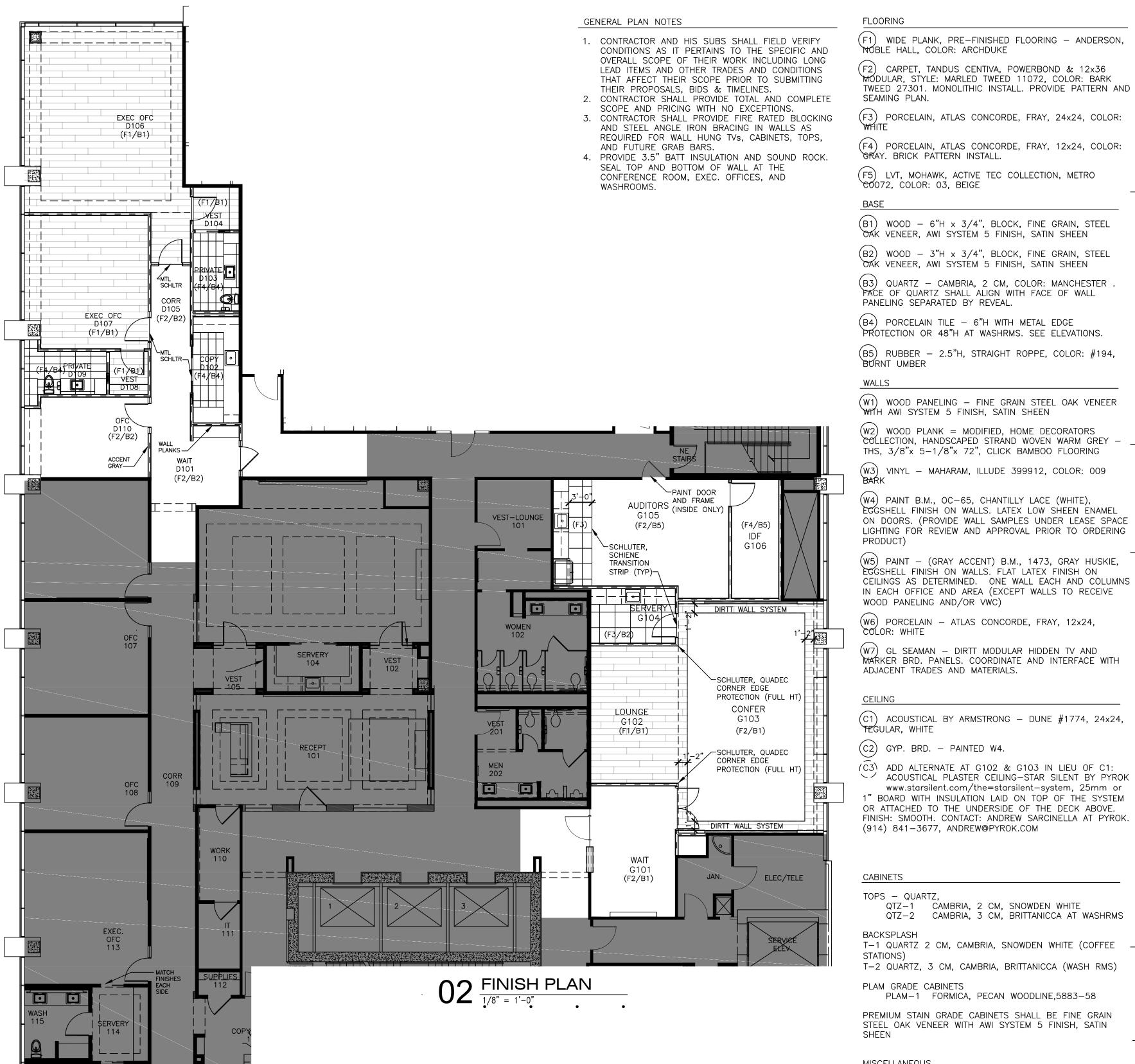
2. CUT GYP. BD. TO FIT CAVITY WHEN WALL RUNS PERPENDICULAR

TYP. CORRIDOR &

08 WASHRM WALL TYPE

3" = 1'-0".





ROOM FINISH SCHEDULE													
				WALLS				Z E	CEILING				
ROOM NO.	ROOM NAME	FLOOR	BASE	N	E	S	w	COLUMN	TYPE (VERIFY)	HEIGHT (VERIFY)	REMARKS	REFER TO NOTE NO.	ROOM NO.
D101	EXEC WAIT	F2	B2	W2	W5	W3	W5	_	C1	9'-0"	REFER TO ELEVATIONS		D101
D102	COPY/COFFEE	F4	B4	W4	W2	W4	W4	-	C1	9'-6"	REFER TO ELEVATIONS		D102
D103	WASH RM - DAVIS	F4	B4	w3/w6	W3/W6	W3/W6	W3/W6	-	C2	9'-6"	REFER TO ELEVATIONS		D103
D104	VEST - DAVIS	F1	B1	W3	<b>W</b> 5	W3	W3	-	C1	9'-6"	REFER TO ELEVATIONS		D104
D105	CORR	F2	B2	_	W3	W3	W3	-	C1	9'-0"	REFER TO ELEVATIONS		D105
D106	EXEC OFC - DAVIS	F1	B1	W3	W1/W3	W3	W3	W1	C1/C2	10'-0"	REFER TO ELEVATIONS		D106
D107	EXEC OFC - MATT	F1	B1	W3	W3	W2	W3	W3	C1	9'-6"	REFER TO ELEVATIONS		D107
D108	VEST - MATT	F1	B1	W3	W3	W3	W3	-	C1	9'-6"	REFER TO ELEVATIONS		D108
D109	WASH RM - MATT	F4	B4	w3/w6	W3/W6	W3/W6	W3/W6	-	C2	9'-6"	REFER TO ELEVATIONS		D109
D110	OFC - CARLIE	F2	B5	W4	<b>W</b> 5	W4	W4	-	C1	9'-6"	REFER TO ELEVATIONS		D110
	EAST LEASE SPACE												
G101	WAIT AREA	F2	B1	W1	W4	W4	W1/W2	-	C1	9'-0"	REFER TO ELEVATIONS		G101
G102	CONFER LOUNGE	F1	В3	W1	_	W1	W1	-	C1/C2	9'-6"	REFER TO ELEVATIONS. SEE CLG. ADD ALTERNATE		G102
G103	CONFER AREA	F1/F2	В3	W1/W7	W3	W1/W7	W1	W1	C1/C2	10'-0"	REFER TO ELEVATIONS. SEE CLG. ADD ALTERNATE		G103
G104	SERVERY	F2	B4	W4	W4	W4	W4	_	C1	9'-6"	REFER TO ELEVATIONS		G104
G105	AUDITORS	F2/F3	B5	W4	W4	W4	W4	_	C1	9'-0"	REFER TO ELEVATIONS		G105
G106	IDF-SECURED	F5	B5	W4	W5	W4	W4	_	C1	9'-0"	SAND SMOOTH & PAINT PLYWD BOARDS		G106

(B1) WOOD - 6"H x 3/4", BLOCK, FINE GRAIN, STEEL OAK VENEER, AWI SYSTEM 5 FINISH, SATIN SHEEN

(B2) WOOD - 3"H x 3/4", BLOCK, FINE GRAIN, STEEL OAK VENEER, AWI SYSTEM 5 FINISH, SATIN SHEEN

(B3) QUARTZ - CAMBRIA, 2 CM, COLOR: MANCHESTER . FACE OF QUARTZ SHALL ALIGN WITH FACE OF WALL PANELING SEPARATED BY REVEAL.

(B4) PORCELAIN TILE - 6"H WITH METAL EDGE PROTECTION OR 48"H AT WASHRMS. SEE ELEVATIONS. (B5) RUBBER - 2.5"H, STRAIGHT ROPPE, COLOR: #194, BURNT UMBER

(W1) WOOD PANELING - FINE GRAIN STEEL OAK VENEER WITH AWI SYSTEM 5 FINISH, SATIN SHEEN

(W2) WOOD PLANK = MODIFIED. HOME DECORATORS COLLECTION, HANDSCAPED STRAND WOVEN WARM GREY -THS, 3/8"x 5-1/8"x 72", CLICK BAMBOO FLOORING

(W3) VINYL - MAHARAM, ILLUDE 399912, COLOR: 009

(W4) PAINT B.M., OC-65, CHANTILLY LACE (WHITE), EGGSHELL FINISH ON WALLS. LATEX LOW SHEEN ENAMEL ON DOORS. (PROVIDE WALL SAMPLES UNDER LEASE SPACE Cell No. 469 964-9584 LIGHTING FOR REVIEW AND APPROVAL PRIOR TO ORDERING

(W5) PAINT - (GRAY ACCENT) B.M., 1473, GRAY HUSKIE, PROJECT CONTACTS EGGSHELL FINISH ON WALLS. FLAT LATEX FINISH ON CEILINGS AS DETERMINED. ONE WALL EACH AND COLUMNS IN EACH OFFICE AND AREA (EXCEPT WALLS TO RECEIVE WOOD PANELING AND/OR VWC)

(W6) PORCELAIN - ATLAS CONCORDE, FRAY, 12x24, COLOR: WHITE

(W7) GL SEAMAN - DIRTT MODULAR HIDDEN TV AND MARKER BRD. PANELS. COORDINATE AND INTERFACE WITH ADJACENT TRADES AND MATERIALS.

(C1) ACOUSTICAL BY ARMSTRONG - DUNE #1774, 24x24, TEGULAR, WHITE

(C2) GYP. BRD. – PAINTED W4.

(C3) ADD ALTERNATE AT G102 & G103 IN LIEU OF C1: ACOUSTICAL PLASTER CEILING-STAR SILENT BY PYROK Property Mgmt: THE FORT WORTH CLUB www.starsilent.com/the=starsilent-system, 25mm or 777 Taylor Street, 11th Floor BOARD WITH INSULATION LAID ON TOP OF THE SYSTEM Fort Worth, Texas 76102 OR ATTACHED TO THE UNDERSIDE OF THE DECK ABOVE. FINISH: SMOOTH. CONTACT: ANDREW SARCINELLA AT PYROK. Ofc No. 817 338-3485 (914) 841-3677, ANDREW@PYROK.COM

CABINETS

TOPS - QUARTZ, QTZ-1 CAMBRIA, 2 CM, SNOWDEN WHITE QTZ-2 CAMBRIA, 3 CM, BRITTANICCA AT WASHRMS

BACKSPLASH T-1 QUARTZ 2 CM, CAMBRIA, SNOWDEN WHITE (COFFEE T-2 QUARTZ, 3 CM, CAMBRIA, BRITTANICCA (WASH RMS)

PLAM GRADE CABINETS PLAM-1 FORMICA, PECAN WOODLINE,5883-58

PREMIUM STAIN GRADE CABINETS SHALL BE FINE GRAIN STEEL OAK VENEER WITH AWI SYSTEM 5 FINISH, SATIN

MISCELLANEOUS

1. FULL HT., BUTT-JOINT, WHITE MAGNETIC PORCELAIN PANELS FOR MAP WALL. (NOT USED)

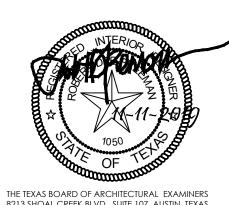
2. SCHLUTER EDGE PROTECTION SCH-01 3/8" QUADEC - OUTSIDE CORNERS IN THE RESTRMS, CONFER ROOM, AND AS NOTED. COLOR AND FINIISH AS SELECTED. SCH-02 SCHIENE AT FLOOR TRANSITIONS

Interior Alterations for KIMBELL **ROYALTY** EXPANSION

Penthouse II - D & G 777 TAYLOR STREET Fort Worth, Texas 76102

> 4450 Oak Park Lane No. 101793





8213 SHOAL CREEK BLVD., SUITE 107, AUSTIN, TEXAS 78758. TELEPHONE (512) 458-1363, HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE INTERIOR DESIGNER'S REGISTRATION LAW, TEXAS CIVIL STATUES, ARTICLES 249E.

ACOUSTICS/AV/ELV SYSTEMS MARSH I pmk 1130 East Arapaho Rd., Suite 580 Dallas Texas 75061 Contact: David Marsh, FASA - President Email: david.Marsh@marshpmk.com www.marshpmk.com

CONSULTANTS

P.O. Box 101793 Fort Worth, Texas 76185 Contact: Bob Freeman Ofc No. 817 307-1746

Email: bobf@rdfinc.com

KIMBELL ROYALTY PARTNERS 777 Taylor Street, Suite PII-C Fort Worth, Texas 76102 Contact: Carlie C. Kaehr Blaine Brewer

Carlie's Cell: (903) 330-1910 Blaine's Cell: carlie@kimbellrp.com blaine@kimbellrp.com

Fax No. 817 335-7737

Landlord: THE FORT WORTH CLUB Contact: Cindy Price

Email: cprice@fortworthclub.com GENERAL CONTRACTOR Tarrant Construction Services, Inc. 2225 West Petersmith Street Fort Worth, Texas 76102 Contact: Tim Scott Ofc No. 817 335-8274 Fax No. 817 336-8274

Cell No. 817 999-6290 Email: tim@tarrantconstruction.com

PERMIT NO.

PB19-x FOR CONSTRUCTION

TDLR Registration No. TABS\_2020005125

11-11-2019

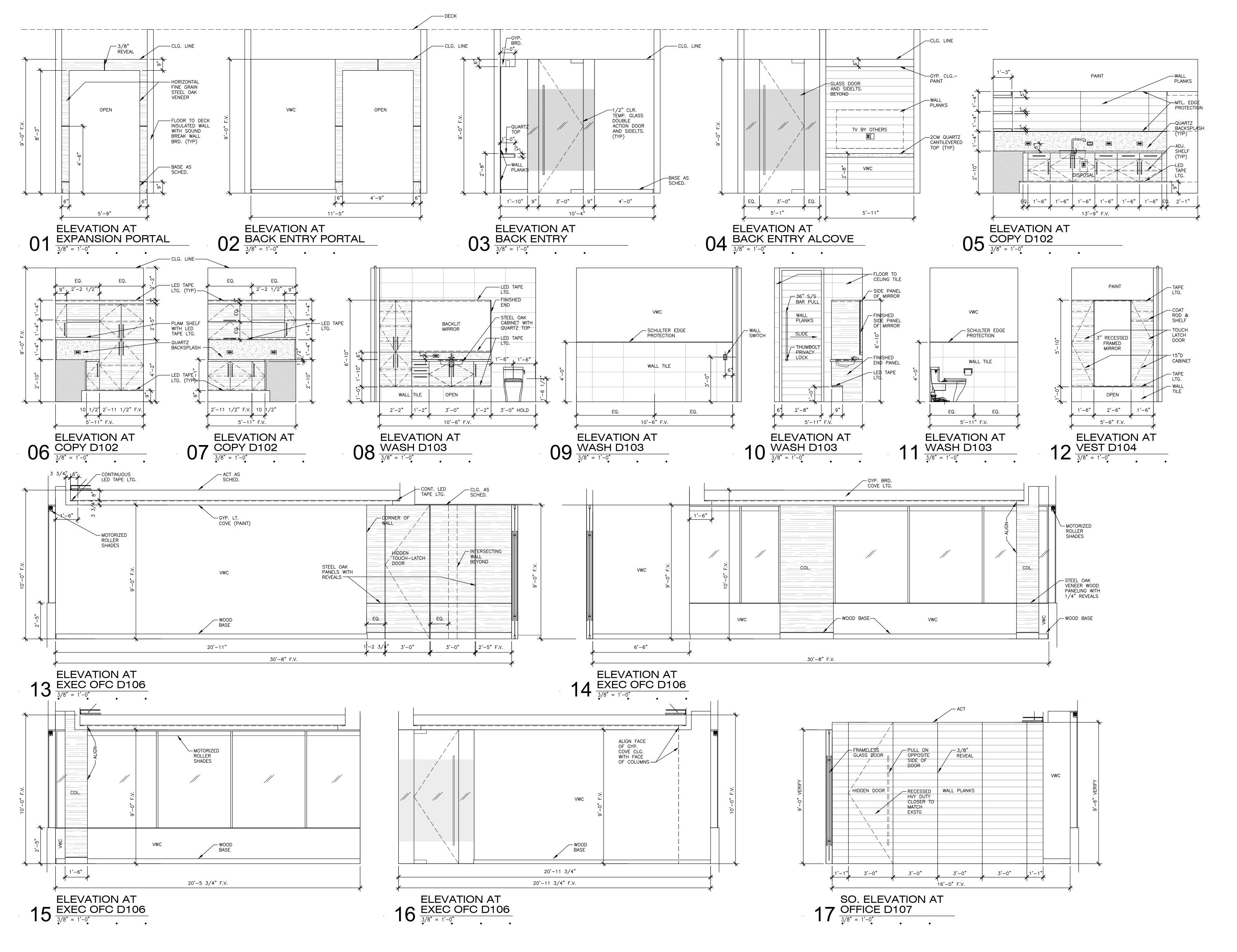
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Sheet Name FLOOR PLANS

Scale 1/8" = 1'-0" U.N.O.

Sheet No.



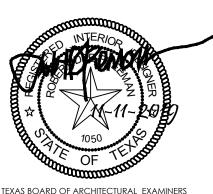


Interior Alterations for KIMBELL ROYALTY PARTNERS EXPANSION

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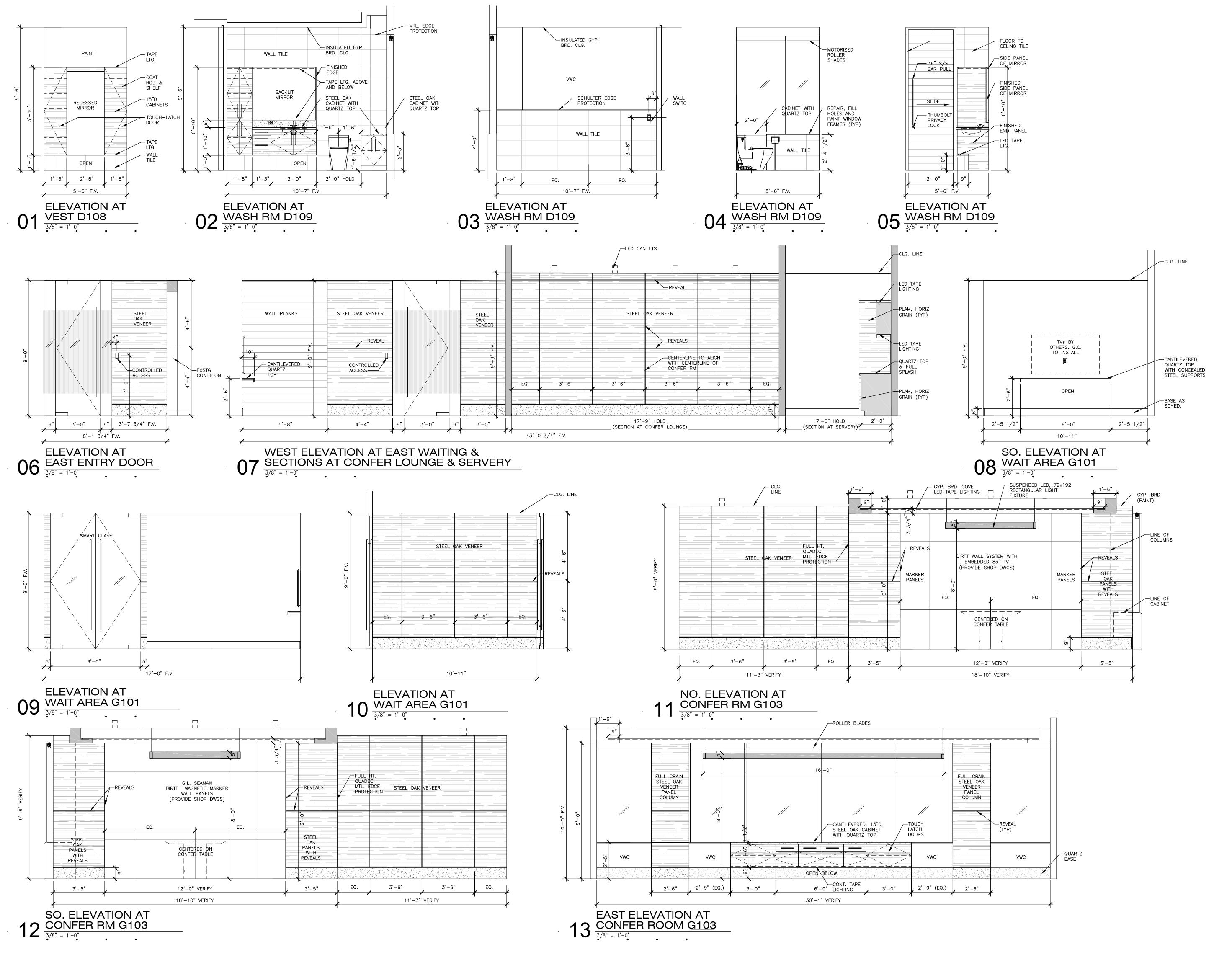
INTERIOR ELEVATIONS

Scale 1/8" = 1'-0" U.N.O.

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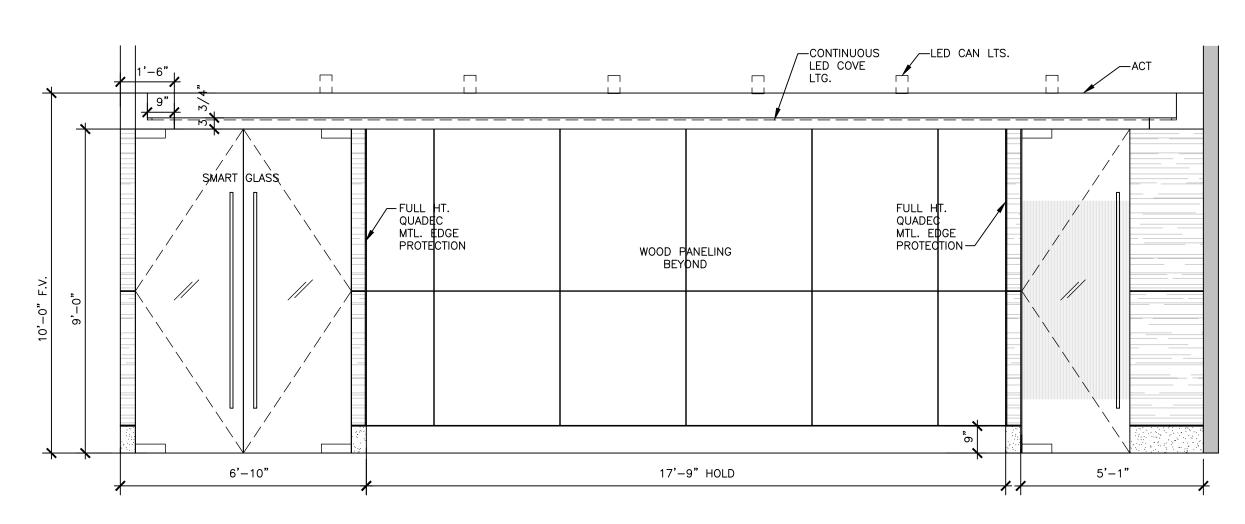
INTERIOR ELEVATIONS

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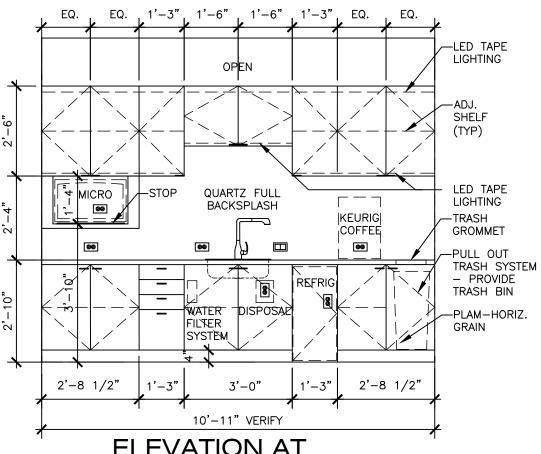
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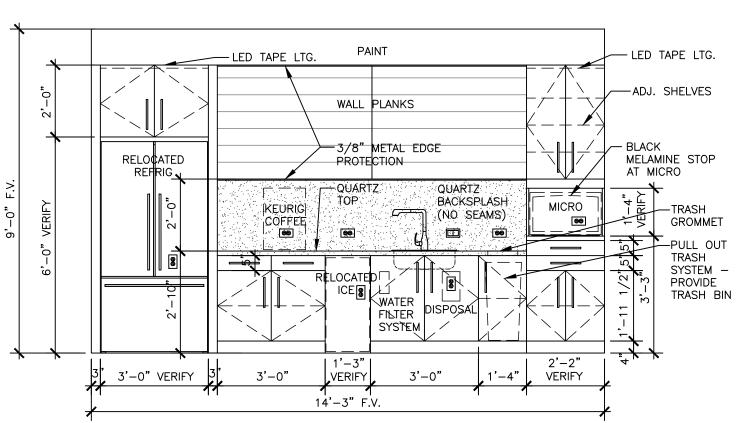


WEST ELEVATION AT 01 CONFER ROOM G103



**ELEVATION AT** 02 SERVERY G104
3/8" = 1'-0"

APPLIANCES FURNISHED AND INSTALLED BY G.C., UNLESS NOTED OTHERWISE G.C. SHALL VERIFY OPENING AND CLEARANCE REQUIREMENTS FOR ALL NEW AND EXISTING EQUIPMENT AND APPLIANCES.



**ELEVATION AT** 03 AUDITORS G105

APPLIANCES FURNISHED AND INSTALLED BY G.C., UNLESS NOTED OTHERWISE G.C. SHALL VERIFY OPENING AND CLEARANCE REQUIREMENTS FOR ALL NEW AND EXISTING EQUIPMENT AND APPLIANCES.

CABINETS AND MILLWORK 1. PROVIDE BLOCKING AND FRAMING AS REQUIRED. SEE ELEVATIONS FOR ARRANGEMENT OF DOORS, DRAWERS AND SHELVES. 3. REFER TO FINISH SCHEDULE FOR PLASTIC LAMINATE AND PAINT SELECTIONS. 4. GRAIN DIRECTION FOR WOOD AND WOOD LIKE PLAM SHALL BE HORIZONTAL. 5. ACCURATELY SET ALL CABINETS PLUMB, SQUARE, LEVEL AND PERMANENTLY SECURED IN PRECISE POSITION 6. IF APPLICABLE, PAINT GRADE CABINETS TO BE SPRAYED ALKYD BASED. FINISH: EGGSHELL/SATIN. 7. WHERE APPLICABLE, PROVIDE (MIN. 3") DIA. HOLE WITH METAL GROMMET INSERT OR 12"x (3") SLOT IN TOPS WHERE ELECTRICAL OCCURS BELOW COUNTERTOP (SUBMIT CUT-SHEETS AND SAMPLES). 8. AS APPLICABLE, DO NOT HANG WALL BASE ON UNDER COUNTER SUPPORT LEGS. 9. COUNTERTOPS TO BE CONSTRUCTED WITH MINIMUM NUMBER OF JOINTS. JOINTS, WHERE NECESSARY, SHOULD OCCUR AT THE CENTER OF COUNTER. 10. PROVIDE PLASTIC LAMINATE INSERTS FOR FRONTS OF UNDERCOUNTER REFRIGERATORS, ICEMAKERS AND 11. PROVIDE FOAM RUBBER SILENCERS AT ALL DOOR AND DRAWER FRONTS. 12. FOR EXPOSED FINISHES ON MILLWORK REFER TO ELEVATIONS AND FINISH SCHEDULE NOTES. 13. PROVIDE MAGNETIC LATCHES AT ALL CABINET DOORS UNLESS NOTED OTHERWISE. 14. INSIDE OF ALL PLASTIC LAMINATE CABINETS AND DRAWERS SHALL RECEIVE TWO COATS CLEAR SEALER WHERE SINKS ARE INSTALLED.

# CABINET HARDWARE

1. DOOR AND DRAWER PULLS SHALL BE SOUTHERN HILLS POLISHED S/S SH3229-224-CHR-5 2. CONCEALED HINGES: "STANLEY" #1563-2, 110 DEGREE PIVOT OR APPROVED EQUIVALENT. 3. SOFT-CLOSING DRAWER SLIDES: "K&V" # 8550 HEAVY DUTY, FULL EXTENSION, DRAWER GLIDES (OR APPROVED EQUIVALENT) 4. CABINET LOCKS: "NATIONAL LOCK" #8102-4 OR

APPROVED EQUIVALENT. 5. ELBOW CATCH: "IVES" #2

6. GROMMET: DOUG MOCKETT, MIN. 3" DIA., METAL FINISH AS SELECTED. LOCATIONS AS DETERMINED BY TENANT. 7. CATCHES: IVES #345

MINIMUM JOINT FASTENER: K&V #516

9. TRASH PULL OUT BIN HARDWARE -10. TRASH GROMMET RING - S/S, 6" DIA.,

11. POWER/USB DEVICE -12. UNDERCABINET AND UPLIGHTING - LED TAPE -

PLASTIC LAMINATE (PLAM) 1. ALL CABINETS SHALL MEET OR EXCEED AWI "CUSTOM" CONSTRUCTION STANDARDS FOR FLUSH OVERLAY WITH REGARD TO ALL CONSTRUCTION METHODS, CONSTRUCTION MATERIALS, AND ALLOWABLE TOLERANCES.

2. ALL CABINET DOORS, DRAWER FRONTS AND SHELF EDGES SHALL BE SOLID STOCK MAPLE. THE ABOVE SHALL BE CONSTRUCTED IN A MANNER TO INSURE THE ABSENCE

3. ALL EXPOSED PORTIONS OF CABINETS INCLUDING ALL SURFACES VISIBLE WHEN DOORS AND DRAWERS ARE CLOSED, BOTTOM OF CABINETS MORE THAN 48" A.F.F. AND ALL VISIBLE MEMBERS IN OPEN CASES SHALL HAVE PLASTIC

4. ALL SEMI-EXPOSED PORTIONS OF CABINETS SUCH AS SHELVES BEHIND CLOSED DOORS, CABINET FRAME AND STILE AT DOOR AND DRAWER FRONTS SHALL HAVE PLASTIC LAMINATE.

5. ALL DOORS AND DRAWER FRONTS SHALL BE LAMINATED ON BOTH SIDES AND EDGES TO PREVENT WARPAGE. 6. ALL INTERIOR SURFACES SHALL BE THERMOFUSED PANEL, (COLOR TO BE DETERMINED) EXCEPT AT WET AREAS, INTERIOR SURFACES TO BE 7 PLY MAPLE/BIRCH W/RADIUS EDGES PLYWOOD AND SANDED FINISH SMOOTH AND RECEIVE TWO (2) COATS OF CLEAR SEALER.

7. PROVIDE 1/2" BLACK PAINTED BACK AND SIDE STOPS AT ALL MICROWAVES TO PREVENT MOVEMENT OF APPLIANCE.

# SHOP DRAWINGS REQUIRED

1. SHOW SIZES, QUANTITIES, MARKINGS, MATERIALS FINISHED, AND DIMENSIONED LOCATION OF INSTALLED HARDWARE. 2. MAKE ASSEMBLY AND INSTALLATION DRAWINGS TO SHOW METHODS OF FASTENING, BRACING, AND CONNECTING TO ALL OTHER TRADES. NOTE AND MARK SUFFICIENTLY TO INDICATE COMPLIANCE WITH REQUIREMENT OF THESE DOCUMENTS. 3. SHOP DRAWINGS TO NOTE ALLOWANCES FOR APPLIANCES AND CLEARANCES FROM OTHER SURFACES IF APPLICABLE.

4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL

MILLWORK AND CABINETRY BEFORE CONSTRUCTION.

2. PROVIDE EEMAX ELECTRIC INSTANTANEOUS

FNGINFFR.

AND COFFEEMAKERS.

DRAIN AND FILTERED COLD WATER LINE. (N/A)

COFFEE STATION & WASHROOM PLUMBING FIXTURES AND APPLIANCES

1. PROVIDE ELKAY SINGLE COMPARTMENT BOWL S/S SINK, 18 GA., SINK, SELF-RIMMING, THREE HOLE DRILL WITH PULL AWAY FAUCET, SINGLE HANDLE ADA CONTROL. OFFSET DRAIN FRONT TO BACK. BASKET STRAINER, SUPPLIES, STOPS, P-TRAP, THERMAL WRAP INSULATION PER TAS/ADA FOR ALL UNDERCOUNTER PLUMBING PIPING. VERIFY THAT SINK IS MOUNTED WITH MAX. ADA 19" REACH FROM FRONT EDGE OF COUNTERTOP TO FAUCET OR SPECIFIED BY

WATER HEATER MOUNTED UNDER SINK. 2 4KW MODEL NO. SP2412, 120V/SINGLE PHASE, WITH INTERGRAL FLOW RESTRICTOR. UNIT WILL MEET 1/2 GPM HAND WASHING REQUIREMENT, 120V/ SINGLE PHASE OR AS SPECIFIED BY ENGINEER. 3. PROVIDE COLD WATER LINES TO ICE MAKER

4. HOSHIZAKI ICE MACHINE WILL REQUIRE FLOOR EXISTING REFRIG IN CONFER SERVERY

APPLIANCES & TVs (INSTALLED BY G.C.) A-1 REFRIGERATOR - FISHER & PAYKEL, FRENCH DOOR, S/S, RF201ADX5\_N. (RELOCATED. INSTALL ONLY)

A-2 ICE MAKER - (RELOCATED. INSTALL ONLY) A-3 ALL TENANT FURNISHED HDTVs

A-4 KEURIG COFFEE MAKERS WITH C.W. LINE

APPLIANCES (FURNISHED AND INSTALLED BY G.C.) A-5 MICROWAVE - FISHER & PAYKEL, MO-24SS-3Y, TRADITIONAL, 24" WITH MOTTK-FP TRIM KIT. QTY: 2

A-6 UNDERCOUNTER REFRIGERATOR TO MATCH

WASHROOM PLUMBING FIXTURES

PROVIDE TOTO, ATHERTON, LT221, RECTANGULAR UNDERCOUNTER WHITE LAVATORY, 17x13. ADA COMPLIANT, VITREOUS CHINA, FRONT OVERFLOW WITH FAUCET TO MATCH EXISTING WASHROOMS.

2. PROVIDE TOTO, AIMS, ELONGATED WATER CLOSET, SS-01326\_MS626124CEF(G)

3. PROVIDE BACK-LIT MIRRORS AS DETAILED.

TDLR Registration No. TABS\_2020005125

> RDF Proj. No. 19\_0515

> > Sheet Name

INTERIOR ELEVATIONS & CABINET SPECS

Interior Alterations for

ROYALTY

**PARTNERS** 

**EXPANSION** 

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