

## FLOOR PLAN



1. Construction shall comply with 2015 International Residential code plus 2018 Pikes Peak Regional Building Codes. Seismic design category G. 30" frost protection. 100 mph wind speed; exposure C; above 7000'
2. All exterior walls are framed with 2x6 framing 16" O.C., interior partitions framed with 2x4 framing 16" O.C.
3. All exterior walls will be sheathed with 7/16 osb
4. All glazing subject to human impact per UBC 2406 shall be safety glazed.
5. Soil report and Foundation Design by a licensed Colorado Soils Engineer shall be on hand at time of forms inspection.
6. Vent clothes dryer, bath, exhaust fan and cooking equipment to exterior as required.
7. Nat gas appliances
8. Provide exterior combustion air to all gas fired HVAC equipment.
9. All Lumber to be Hem fir Select #2 or better.
10. Smoke detectors shall receive their primary power from the building wiring and shall be interlinked and equipped with a battery back up.
11. All electric circuits shall be according to current NEC
12. Provide roof vents @ 1/300 sq.ft. of roof. Place 1/2 of vents in upper 1/2 of roof and 1/2 in the soffits.
13. All doors framed at 3.5" from nearest perp. wall where possible UON.
15. Direct vent gas fireplaces to be ICBO approved.
16. Single 2x6 trimmers and kings blocked to foundation on all exterior doors and windows unless otherwise noted (one king with trimmer on either side between windows immediately next to each other ok; UON)
17. All headers in load bearing walls are 2 - 2x6 UON(\*)
18. All places where "no Header" is called out, use portal nailing pattern around opening
19. Max egress sill height 44"; min 20" wide; min 24" high; min of 5.7 sq.ft.
20. All water draining from roof must be drained at least 3' away from the foundation

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SCALE  
1/4" = 1'

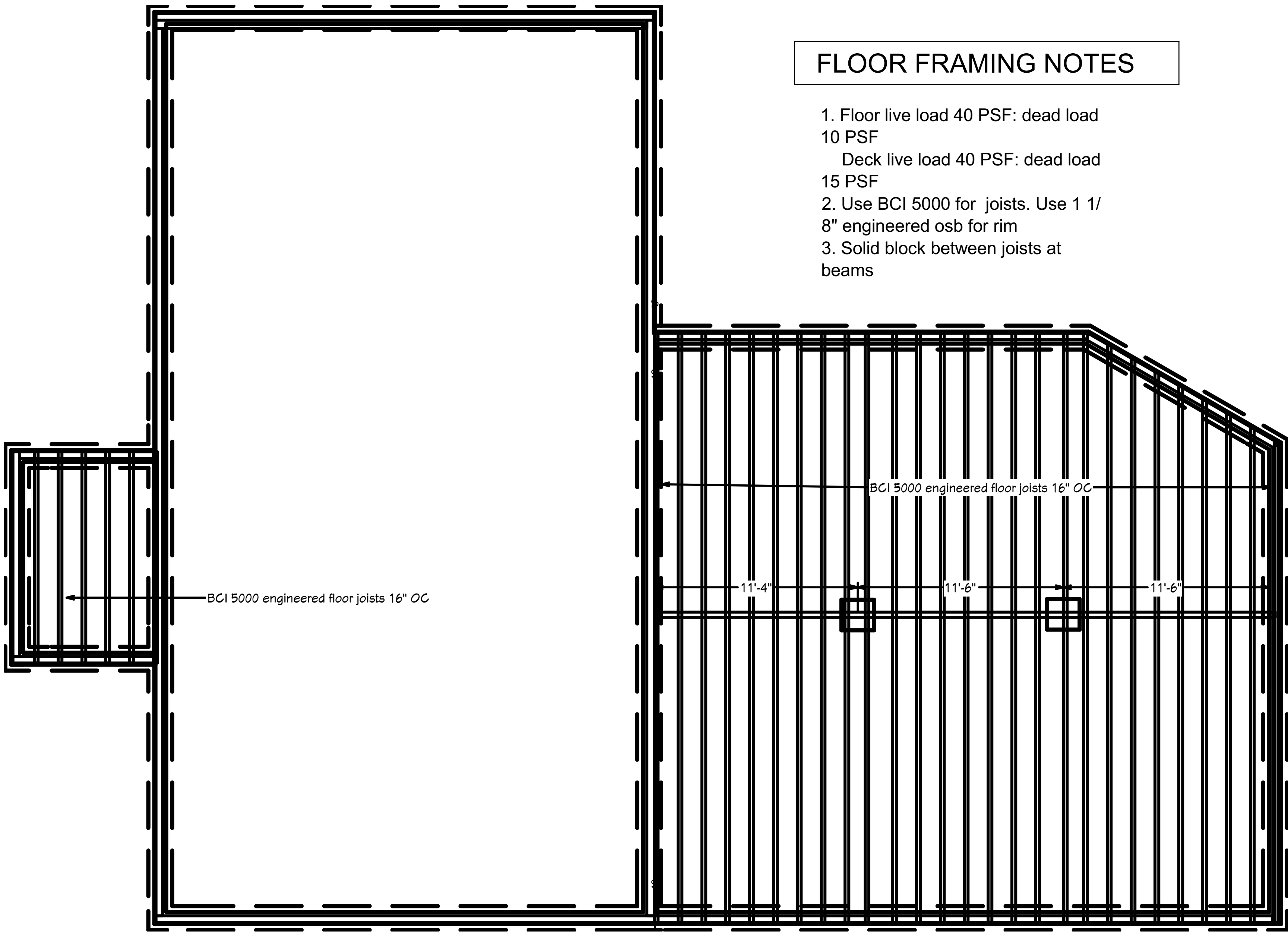
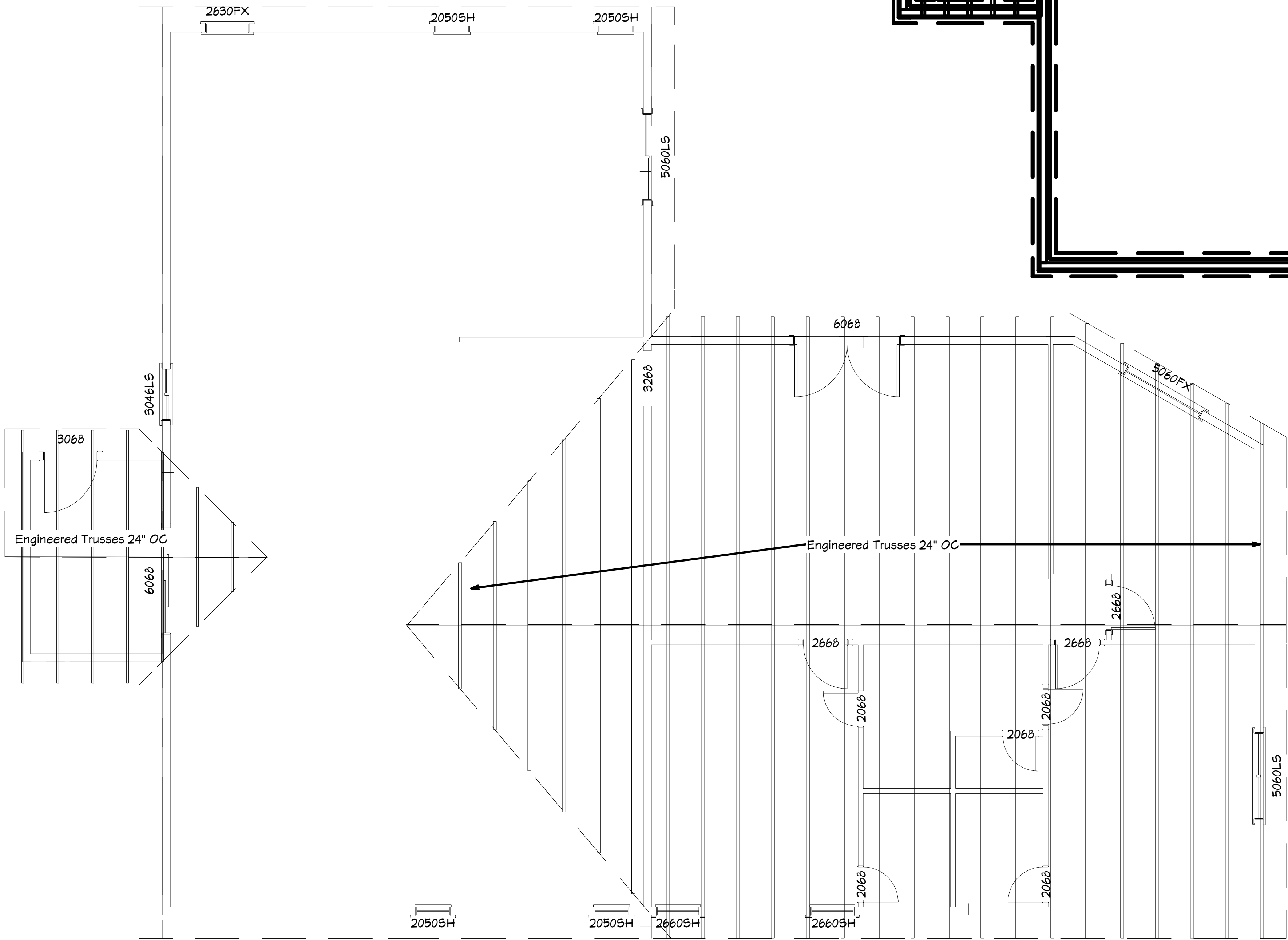
# FLOOR PLAN

ROOF FRAMING NOTES

- 1. Located above 7000 ft
- 2. Live load 40 PSF: Dead load 15 PSF
- 3. Overhangs to be 16" except gables are 12"
- 4. Overframing to be 2x6 24" oc braced every 4'
- 5. 1 - H2.5A or = on all trusses at bearing uon
- 6. Block any truss heals over 8" tall
- 7. All headers 2 - 2x6 uon (\*)
- 8. All posts 1 - 2x uon
- 9. Engineered trusses 24"oc
- 10. Solid block all pt loads to the foundation
- 11. 7/16 OSB sheathing nailed with 8d cc or 2"x1/2 staples 8"oc
- 12. all headers go against the top plate
- 13. Use (1) LTPA at ea. end & 48"o.c. of V trusses
- 14. Use (1) trimmer & (1) king uon

FLOOR FRAMING NOTES

- 1. Floor live load 40 PSF: dead load 10 PSF  
Deck live load 40 PSF: dead load 15 PSF
- 2. Use BCI 5000 for joists. Use 1 1/8" engineered osb for rim
- 3. Solid block between joists at beams



ADDITION TO JASON AND JAMIE SMITH RESIDENCE  
6909 JUANITA ST, COLORADO SPRINGS, CO 80908  
SCHEDULE # 52082-24-006

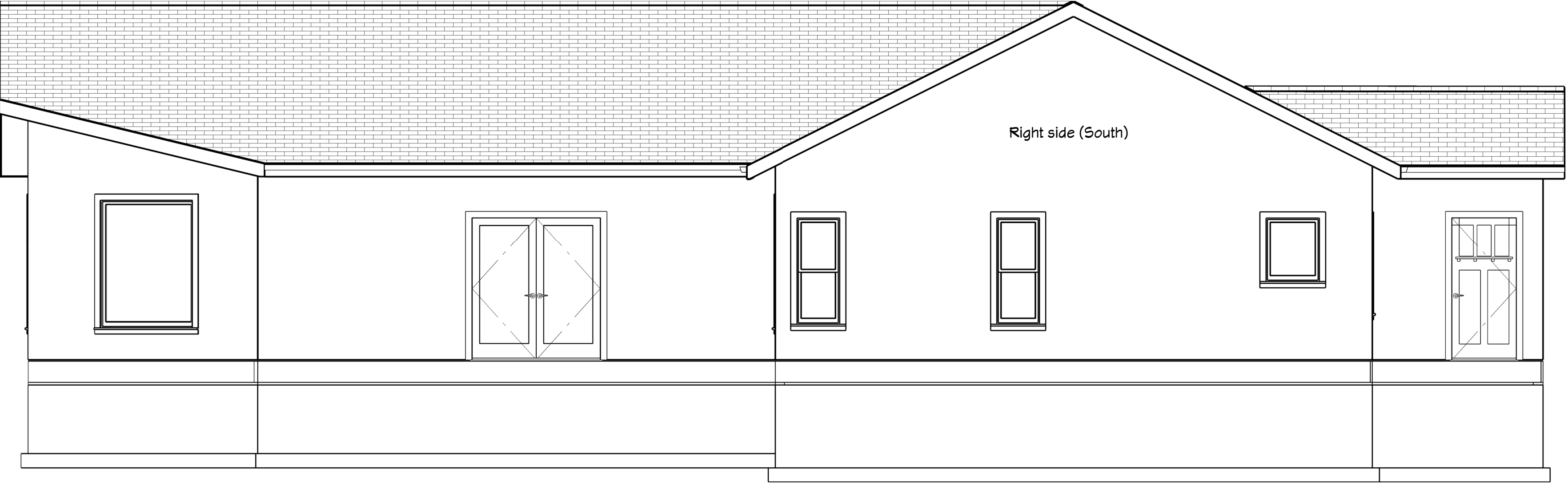
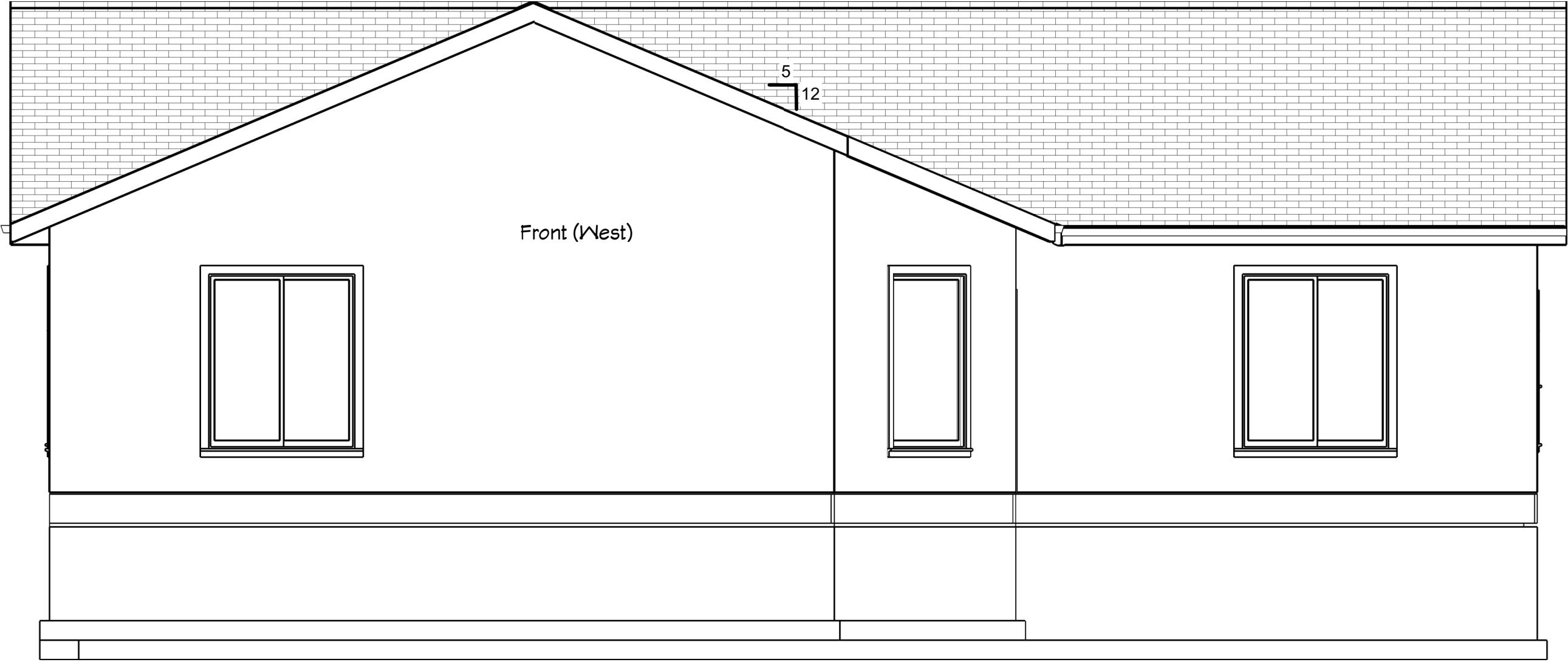
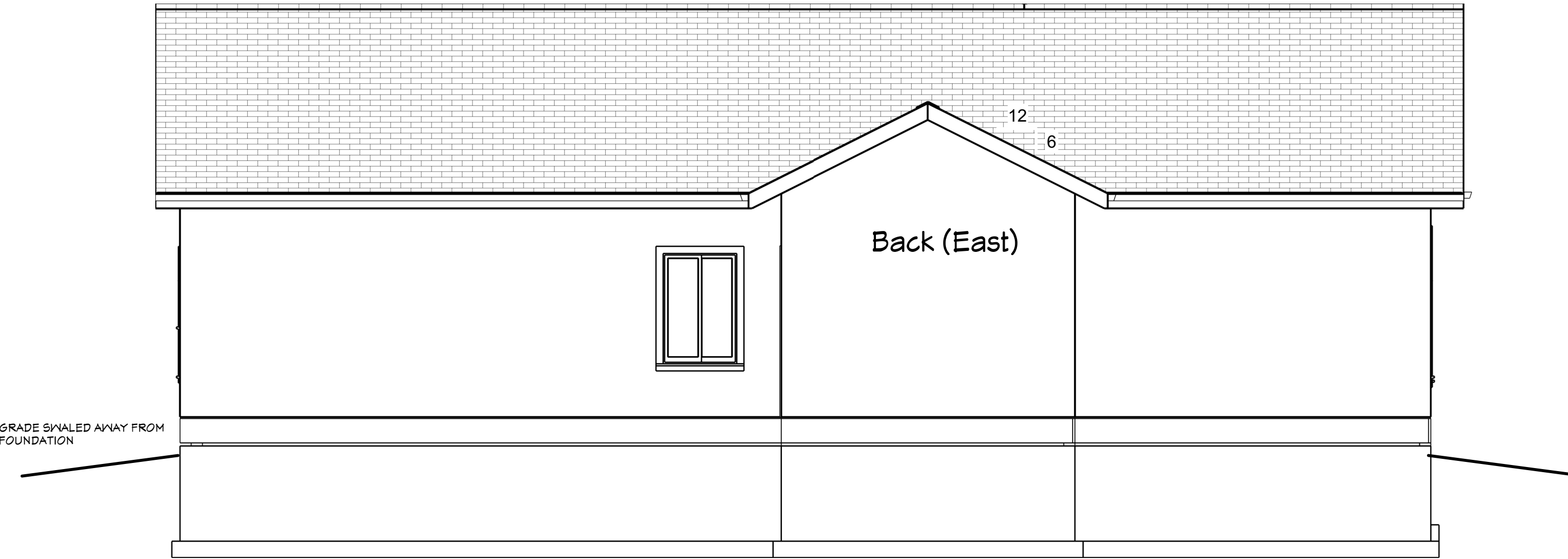
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ELEVATIONS



ELEVATIONS

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