FLOOR PLAN NOTES:

1. ALL HABITABLE ROOMS SHALL BE PROVIDED w/ NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN ONE TENTH OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 10 SQ. FT.
2. NEW WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH CAPACITY OF 1.28 GALLONS, AND SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET OF NOT LESS THAN 24"(low consumption water closets for all new construction)
3. SHOWERS SHALL HAVE FLOORS AND WALLS FINISHED w/ SMOOTH HARD, NON-ABSORBENT SURFACES SUCH AS PORTLAND CEMENT TO A HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET.
4. GLAZING USED IN DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, OR APPROVED PLASTIC. WHEN GLASS IS USED IT SHALL HAVE A MINIMUM THICKNESS OF NOT LESS THAN 1/8" WHEN FULLY TEMPERED
5. A SMOKE DETECTOR IS REQUIRED FOR BOTH NEW AND EXISTING CONSTRUCTION OF SLEEPING ROOMS AND CORRIDORS GIVING ACCESS TO SLEEPING ROOMS. IT SHALL BE MOUNTED ON THE CEILING , CENTRALLY LOCATED IN THE ROOM OR CORRIDOR, NOT MORE THAN 12' OF THE DOOR GIVING ACCESS TO THE SLEEPING ROOM.
6. DOORS: IN ALL DWELLINGS EVERY INTERIOR DOOR IN A DOORWAY THROUGH WHICH OCCUPANTS PASS SHALL HAVE A MINIMUM WIDTH OF 32"
7. AN ATTIC ACCESS OPENING SHALL BE PROVIDED FOR ATTIC WITH A VERTICAL HEIGHT OF GREATER THAN 30". THE OPENING SHALL BE LOCATED IN A CORRIDOR OR READILY ACCESSIBLE LOCATION. THE OPENING SHALL NOT BE LESS THAN 22"x30"
8. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ. FT. OF ATTIC AREA) IS REQUIRED
9. AT LEAST ONE MINIMUM 18"x 24" UNDER FLOOR ACCESS OPENING SHALL BE ALLOWED IN ALL RAISED FLOOR PORTIONS OF NEW FOUNDATIONS. (ONLY IF APPLIES @ FOUNDATION PLAN)
10. PROVIDE MIN. 12" CLEARANCE UNDER FLOOR GIRDERS & 18" CLEARANCE UNDER FLOOR JOISTS

LEGAL DESCRIPTION :

ADDRESS: 4836 PLACIDIA AVE, NORTH HOLLYWOOD, CA,
ZIP CODE: 91601
ASSESSORS PARCEL NUMBER: 2420012017
TRACT: TR 12426
BLOCK: NONE
LOT: 28
LOT AREA: 7,139.5 S.F.
ZONE: R1-1
VERY HIGH FIRE HAZARD SEVERITY ZONE: NO
METHANE HAZARD SITE: NONE
OCCUPANCY GROUP: R3
TYPE OF CONSTRUCTION: VB

SCOPE OF WORK

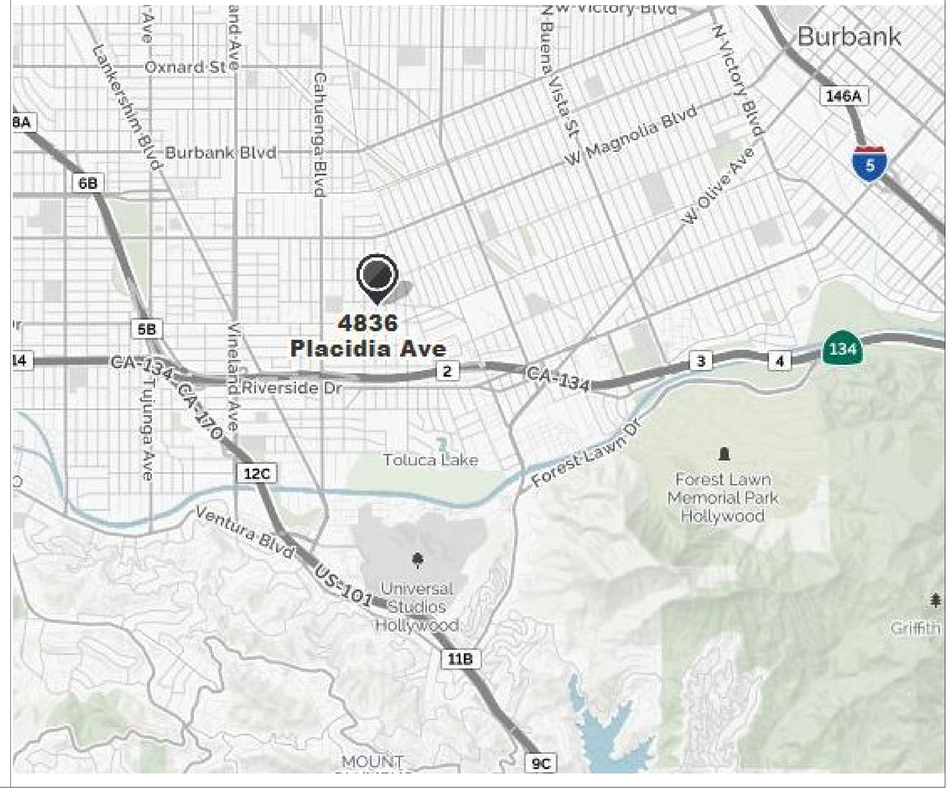
A. COMPLETE EXISTING HOUSE REMODEL AND SECOND FLOOR ADDITION

SHEET INDEX:

NAILING SCHEDULE:

CONNECTION	NAILING
POST TO PIER PAD; TOE NAIL	3-16d OR 4-8d
GIRDER TO POST ; TOE NAIL	3-16d OR 4-8d
JOIST TO SILL OR GIRDER ; TOE NAIL	3-8d
BRIDGING TO JOIST ; TOE NAIL EACH END	2-8d
JOISTS TO BLOCKING ; END NAIL	16d TOP & BOTTOM OF EACH JOIST
RIM JOIST TO JOISTS ; END NAIL	16d TOP & BOTTOM OF EACH JOIST
RIM JOIST TO SILL ; END NAIL	16d @ 16" o/c
FLOOR JOIST LAP @ BEARING ; FACE NAIL	2-16d
1x6 OR NARROWER SUBFLOOR SHEATHING TO EACH JOIST ; FACE NAIL	2-8d
WIDER THAN 1x6 SUBFLOOR SHEATHING TO EACH JOIST ; FACE NAIL	3-8d
2" SUBFLOOR TO JOIST OR GIRDER ; BLIND & FACE NAIL	2-16d
SOLE PLATE TO JOIST OR BLK'G ; FACE NAIL	16d @ 16" o/c
TOP PLATE TO SOLE PLATE TO STUD ; END NAIL	2-16
STUD TO SOLE PLATE	2-16d END NAIL , OR 4-8d TOE NAIL
DOUBLED STUDS ; FACE NAIL	16d @ 24" o/c
DOUBLE TOP PLATES; FACE NAIL	16d @ 16" o/c
TOP PLATES, LAPS & INTERSECTIONS ; FACE NAIL	2-16d
CONTINOUS HEADER TWO PIECES SET ON EDGE	16d @ 16" o/c ALONG EACH EDGE
CEILING JOISTS TO PLATE ; TOE NAIL	3-8d
CONTINOUS HEADER TO STUD ; TOE NAIL	4-8d
CEILING JOISTS LAP OVER PARTITIONS ; FACE NAIL	3-16d
CEILING JOIST PARALLEL TO RAFTERS ; FACE NAIL	3-16d
RAFTER TO RIDGE	3-8d
RAFTER TIES 2" LUMBER ; FACE NAIL	3-16d
RAFTER TIES 1" LUMBER ; FACE NAIL	5-8d
RAFTER TO PLATE ; TOE NAIL	3-8d
1x4 MIN. BRACE TO EACH STUD & PLATE ; FACE NAIL	2-8d
1x8 OR NARROWER SHEATHING TO EACH BEARING ; FACE NAIL	2-8d
WIDER THAN 1x8 SHEATHING TO EACH BEARING ; FACE NAIL	3-8d
BUILT-UP CORNER STUDS	16d @ 24" o/c

VICINITY MAP



MATERIAL SPECIFICATIONS:

1. SOIL : TYPE OF SOIL = 1000 P.S.F.

2. DIAPHRAGMS: PLYWOOD : PRODUCT STANDARD PS 18-I-A DOUGLAS FIR-LARCH, STRUCTURAL I (OR CDX)

3. PARTICLE BOARD: ANSI A208.1-1989. MOISTURE PROTECT./REQ'D.

4. WATERPROOFING: STUCCO AND OR STUCCO w/ VENEER OVER A PLYWOOD (OR PARTICLE BOARD) SHEAR WALL WILL BE WATERPROOFED w/ A MINIMUM OF (2) 15# FELT (GRADE "D") UNDERLAYMENTS

5. WOOD FRAMING MEMBERS: GRADE & SPECIES OF ALL LUMBER (MUST BE GRADE MARKED)

6. STEEL: STRUCTURAL STEEL ASTM A36, STRUCTURAL PIPE ASTM A53 Gd B , TUBING ASTM A 501. REINFORCING BARS ASTM A615. L.A. CITY BLDG. DEPT. LICENSED SHOP REQUIRED FOR SHOP WELDS

7. CONCRETE: STANDARD 2,500 psi CONCRETE. 3,000 psi FOR GRADE BEAMS AND CAISSONS. CONTIUOUS DEPUTY INSPECTION IS REQUIRED FOR ALL CONCRETE WITH fc GREATER THAN 2,500 psi

8. LAG BOLTS: PROVIDE LEAD HOLE 70% OF THREADED SHANK DIA., & FULL DIA. FOR SMOOTH SHANK PORTION. SOAP, PARAFFIN OR OTHER APPROVED LUBRICANT SHALL BE USED ON THREADS. INSTALLATION METHOD SJALL BE SCREWING, NOT HAMMERING. CARE SHALL BE TAKEN TO AVOID OVER TORQUING BOLT.

9. MASONRY: WHEN HALF STRESSES ARE USED & f'm IS NO MORE THAN 1,500 psi FOR CONCRETE MASONRY (2,600psi FOR CLAY MASONRY) A LETTER OF CERTIFICATION FROM THE SUPPLIER SHALL BE REQUIRED AT THE TIME OF, OR PRIOR TO, DELIVERY OF THE MATERIALS TO THE JOBSITE TO ASSURE THE MATERIALS COMPLY WITH TABLE 21-D [TABLE 24C], SECTION 91.2105.3.4.

10. L.A. CITY BLDG. DEPT. LICENSED FABRICATOR IS REQUIRED FOR (GLULAM BEAMS) (TRUSSES) AND (STRUCTURAL STEEL)

11. CONTINUOUS DEPUTY INSPECTION IS REQUIRED FOR ANCHORS.

12. FIELD WELDING TO BE DONE BY WELDERS CERTIFIED BY THE L.A. CITY BUILDING DEPARTMENT FOR (STRUCTURAL STEEL), (REINFORCING STEEL) & (LIGHT GAGE STEEL). CONTINUOUS DEPUTY INSPECTION REQUIRED

STRUCTURAL NOTES:

1. ALL DIAPHRAGM AND SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS.
2. ALL BOLT HOLES SHALL BE DRILLED 1/32" TO 1/16" OVERSIZED.
3. PLATE WASHERS ARE REQUIRED FOR ALL HOLD DOWNS.
4. ALL HOLD DOWN ANCHOR NUTS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE FRAMING.
5. ALL POST TO BEAM CONN. AND POST TO FOUNDATION TO HAVE HEAVY GAUGE BOLTED SIMPSON CONNECTORS, CC44 AND CB44 OR AS APPROPRIATE FOR SIZE.
6. IN ADDITIONS OR NEW STRUCTURES, SHEAR WALLS IN LOWER LEVEL SHALL HAVE A 4x4 WOOD POST WITH SIMPSON HOLDDOWNS @ BEGINNING AND @ END OF ALL SHEAR WALL. AT SECOND FLOOR LEVEL THEY SHALL HAVE A SIMSPON MST48 STRAP ONTO DBL. STUDS @ BEGINNING & END.
7. ALL SHEAR WALLS w/ A SHEAR VALUE GREATER THAN 300lbs. SHALL HAVE THE FOLLOWING:

a. 3x FOUNDATION SILL PLATES.
b. 3x STUDS & BLOCKS BETWEEN ADJACENT PANELS.
c. 1/2" EDGE DISTANCE FOR PLYWOOD BOUNDARY NAILING.
d. STAGGERED NAILS , IF NAIL SPACING IS LESS THAN 2"
e. SQUARE PLATE WASHERS SHALL BE USED w/ ALL ANCHOR BOLTS.
f. ANCHOR BOLTS SHALL BE PROVIDED WITH MINIMUM 0.229-inch x 3-inch x 3-inch PLATE WASHER.

GENERAL NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK & SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUB-CONTRACTOR.
2. ALL CONSTRUCTION SHALL COMPLY WITH LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE AND CITY OF LOS ANGELES CITY CODE.
3. ALL DIMENSIONS ON FLOOR PLANS ARE TO BE CENTERLINE OF STUD WALLS, OR FACE OF EXTERIOR MATERIAL U.N.O.
4. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS OR OMISSIONS HE MAY DISCOVER IN THE DRAWINGS AND FIELD CONDITIONS. AFTER THE START OF CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CORRECTIVE MEASURES WHICH ARISE FROM ERRORS, OMISSIONS AND INCONSISTENCIES WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. CORRECTIVE MEASURES SHALL FIRST BE PRESENTED TO THE ARCHITECT FOR REVIEW, THEN IMPLEMENTED WITHOUT COST TO THE OWNER OR ARCHITECT.
5. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS & SAMPLES FOR CONFORMANCE w/ DESIGN CONCEPT OF THE PROJECT.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT, & TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF SAID UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
7. EXISTING ELEVATIONS & LOCATIONS TO BE JOINTED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
8. CONTRACTOR SHALL PROVIDE TEMPORARY WATER AND POWER AND TOILET FACILITIES AS REQUIRED.
9. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX & SHALL NOT BE USED BY WORKMEN. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS w/ ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDANT & SHALL BE GIVEN TO THE OWNER AT THE TIME OF OCCUPANCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE PROJECT IS COMPLETE.
11. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS & WORKERS AT ALL TIMES.
13. DECORATIVE MATERIALS (drapes, hangings, awnings, etc.) SHALL BE NON-FLAMMABLE OR FIRE PROOF PER STATE FIRE MARSHALL REQUIREMENTS.
14. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL BE CLASS "A".
15. ALL GLASS AND GLAZING SHALL COMPLY WITH CHAPTER 54 OF THE UNITED STATES CONSUMER PRODUCT SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (42FR 1428, #16 FRPART 1201).
16. MANUFACTURED DOORS AND WINDOWS SHALL HAVE AIR FILTRATION RATES CERTIFIED BY THE MANUFACTURER AS NOT EXCEEDING THOSE SHOWN IN TABLE 2-53J.
17. SITE CONSTRUCTED DOORS AND WINDOWS, EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED, THIS DOES NOT INCLUDE FIRE RATED DOORS AND WINDOWS OR UNFRAMED GLASS DOORS .
18. EXIT DOORS MUST OPEN OVER A LANDING WHICH IS NOT MORE THAN 1/2" BELOW THE TOP OF THE THRESHOLD. THE THRESHOLD SHALL BE BEVELED SUCH THAT THERE IS A 1/4" MAX. DROP.
19. THE STRUCTURE OF THE WORK PROPOSED HEREIN IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AS REQUIRED TO ENSURE THE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR A PORTION THEREOF DURING CONSTRUCTION.
20. NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD UNLESS, PRIOR TO MAKING SUCH CHANGES, WRITTEN APPROVAL HAS BEEN OBTAINED BY THE STRUCTURAL ENGINEER THROUGH THE ARCHITECT. IF CHANGES ARE MADE WITHOUT WRITTEN APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR TO REPLACE OR REPAIR AS DIRECTED BY THE ENGINEER.
21. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITSPRIOR TO THE START OF THE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED FOR THE COMPLETION OF THE PROJECT AS PER ALL GOVERNING AGENCIES.
22. ALL CONTRACTORS SHALL PROVIDE LIABILITY INSURANCE AND WORKERS COMPENSATION BENEFITS IN ACCORDANCE WITH STATE LAW FOR ALL WORKERS AND AGENTS WHO WILL BE ON THE SITE AT ANY TIME IN PERFORMING WORK ON THIS PROJECT .
23. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST STANDARDS OF EACH PARTICULAR TRADE.
24. CONTRACTOR SHALL PROVIDE A COST ESTIMATE FOR ALL WORK SHOWN ON THE DRAWINGS AND/OR ALL WORK NORMALLY REQUIRED TO EXECUTE SAID WORK.

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

Tim Griffin
4836 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
LISTRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-28651
20712 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 1

GENERAL NOTES:

a. The construction shall not restrict a five-foot
clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

b. An approved Seismic Gas Shutoff Valve will
be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping." (Per Ordinance 170,158) (Separate plumbing permit is required).

c. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).

d. Kitchen sinks, lavatories, bathtubs, showers,
bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).

e. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).

f. Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.

g. Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter resistantmaterials for shower enclosure." (R308)

h. Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating (research report not required). (R308.6.9)

i. Water heater must be strapped to wall (Sec. 507.3, LAFC)

j. For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. Max.) For a single opening. The deactivation switch shall be at least 54" above the floor. P/BC 2008-014

k. For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB)No. 2477.

l. Automatic garage door openers, if provided, shall be listed in accordance with UL 325.

m. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars ($1,000). (R314.6.2)

n. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars ($1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2)

o. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)

p. A copy of the evaluation report and/or conditions of listing shall be made available at the job site

q. Heater shall be capable of maintaining a minimum room temperature of 68°F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature. (R303.8)

r. Dampproofing, where required, shall be installed
with materials and as required in Section R406.1.

s. Buildings shall have approved address numbers,
building numbers or approved building identification
placed in a position that is plainly legible and visible
from the street or road fronting the property. (R319)

t. Protection of wood and wood based products from
decay shall be provided in the locations specified
per Section R317.1 by the use of naturally durable
wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product,
preservative and end use. Preservatives shall be
listed in Section 4 of AWPA U1.

u. An approved smoke alarms shall be installed in
each sleeping room & hallway or area giving access to a sleeping room, and on each story and
basement for dwellings with more than one story.
Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms
within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and
shall be equipped with battery back up and low battery signal. (R314)

v. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed
and in dwelling units that have attached garages.
Carbon monoxide alarm shall be provided outside
of each separate dwelling unit sleeping area in the
immediate vicinity of the bedroom(s) and on every
level of a dwelling unit including basements. (R315)

DOOR & WINDOW NOTES:

1. Provide emergency egress from sleeping rooms. Show details on plans. Min.- 24" clear ht, 20" clear width, 5.7 sq.ft min area (5.0 sq ft at grade level) & 44" max to sill. (R310.1)

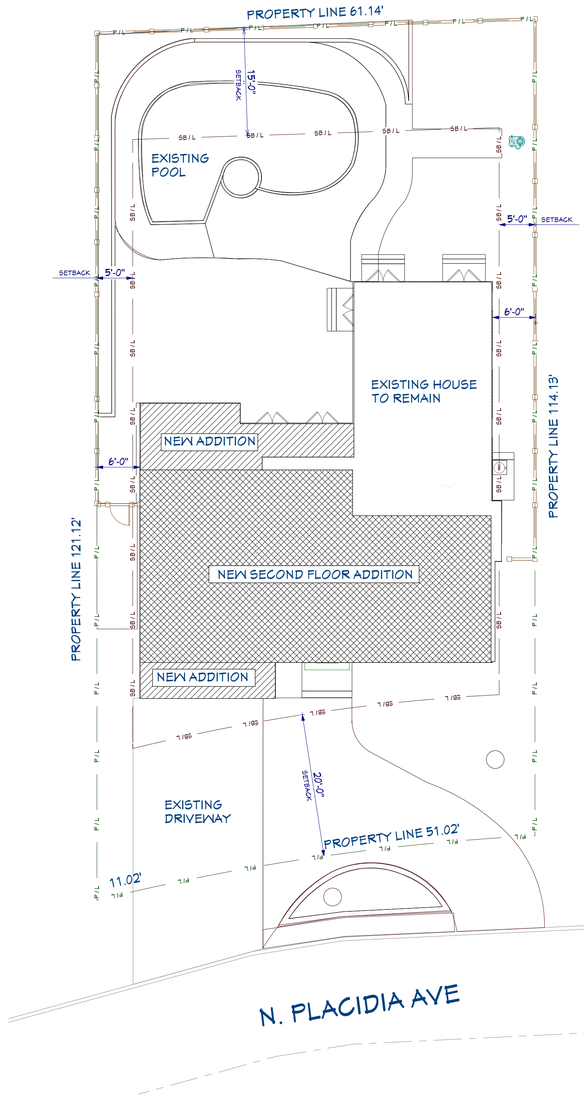
2. At least one door shall be 36" wide by 80" high (R311.2)

3. Provide 32" wide doors to all interior accessible rooms. (6304.1)

4. Show on plans that the entry /exit door must open over a landing not more than 1.5" below the threshold. Exception: Providing the door does not swing over the landing. Landing shall be not more than 7.75" below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings.(R311.3.1)

5. Landing at a door shall have a length measured in the direction of travel of no less than 36". (R311.3)

6. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):
a. Fixed and operable panels of swinging, sliding and bifold door assemblies.
b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
c. Glazing in an individual fixed or operable panel that meets all of the following conditions:
1) Exposed area of an individual pane greater than 9 square feet.
2) Bottom edge less than 18 inches above the floor.
3) Top edge greater than 36 inches above the floor.
4) One or more walking surfaces within 36 inches horizontally of the glazing.
d. Glazing in railings.
e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.
g. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the surface of the glazing is less than 60 inches above the plane of the adjacent walking surface.
h. Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread.



SITE PLAN

SCALE: 1"= 20'-0"

CONTRACTOR
VERIFY ALL
SITE AND
ANY DISCREPANCIES
ARCHITECT BEFORE
START OF
CONSTRUCTION.
NOTE: THE CONSTRUCTION SHALL
BE WITHIN 10 FEET OF ANY POWER
LINE, WHETHER OR NOT THE LINES
ARE LOCATED ON THE PROPERTY.
FAILURE TO COMPLY MAY CAUSE
CONSTRUCTION DELAYS AND/OR ADDITIONAL
EXPENSES.

TABULATION

(E) 1ST FLOOR: = 1,313 SQ. FT.
(E) 2ND FLOOR = 560 SQ. FT.
(E) GARAGE= 315 SQ. FT.
TOTAL EXISTING = 2,188 SQ. FT

(N) FIRST FLOOR ADDITION = 400 SQ. FT
(N) SECOND FLOOR ADDITION = 935 SQ. FT
(N) BALCONY = 175 SQ. FT.
TOTAL NEW ADDITION = 1,335 SQ. FT.

TOTAL SQ. FT
EXISTING = 2,188 SQ. FT.
NEW ADDITION = 1,335 SQ. FT.
TOTAL = 3,523 SQ. FT.

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

Tim Griffin
4636 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECTS LICENSE # C-23651
20812 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 2

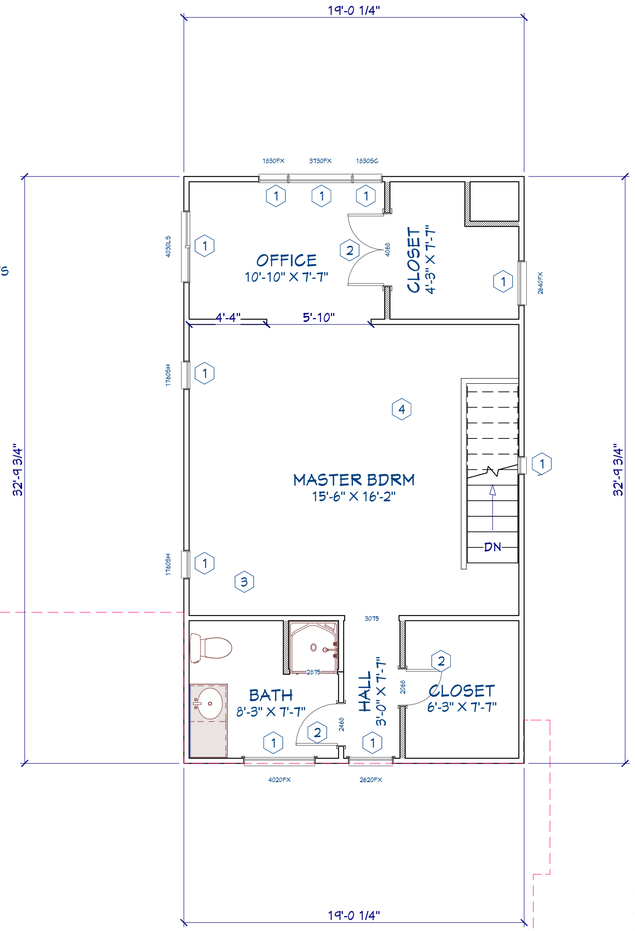
LEGEND:

(E) WALL

(E) WALL TO BE REMOVED

KEYNOTE:

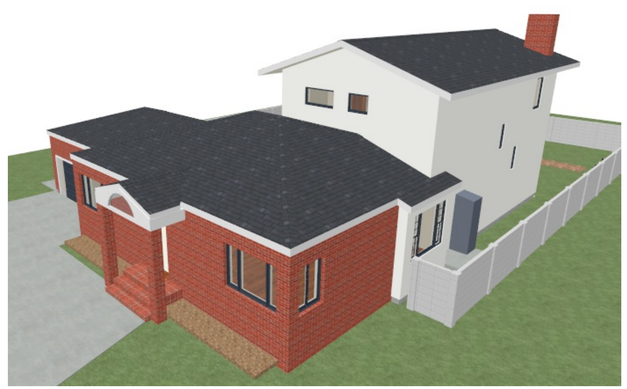
1. EXISTING WINDOW SHALL BE REMOVED
2. EXISTING DOOR SHALL BE REMOVED
3. REMOVE EXISTING PLUMBING FIXTURES AND CABINETS
4. REMOVE EXISTING STAIRS
5. REMOVE EXISTING FIREPLACE
6. REMOVE EXISTING STEPS AND PORCH



LIVING AREA
592 SQ FT

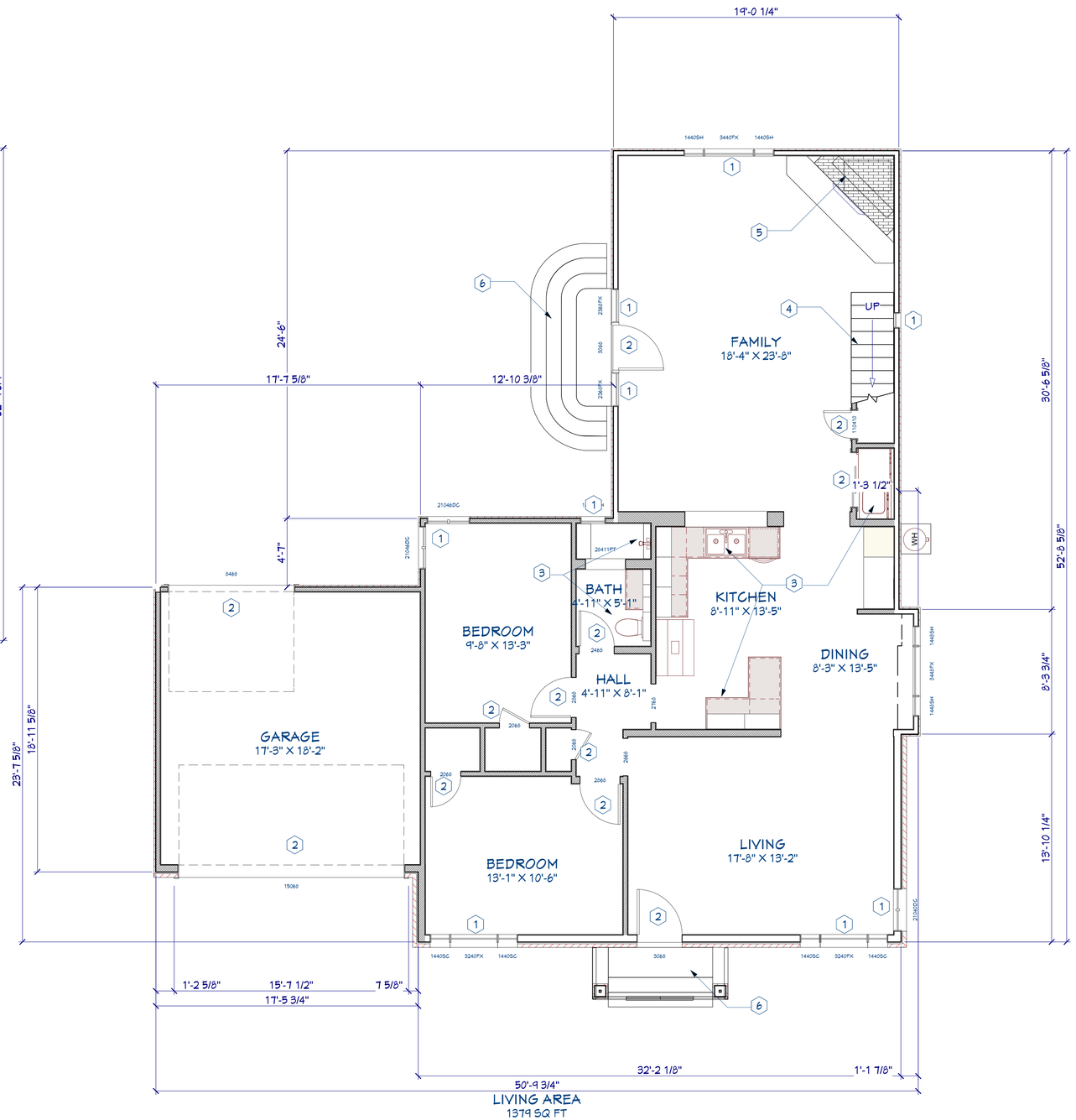
EXISTING SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"



EXISTING RENDERING

N.T.S.



LIVING AREA
1379 SQ FT

EXISTING FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

REVISION TABLE

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Tim Griffin
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North Hollywood, CA 91601

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20512 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-7752
www.woodcrafarchitecture.com

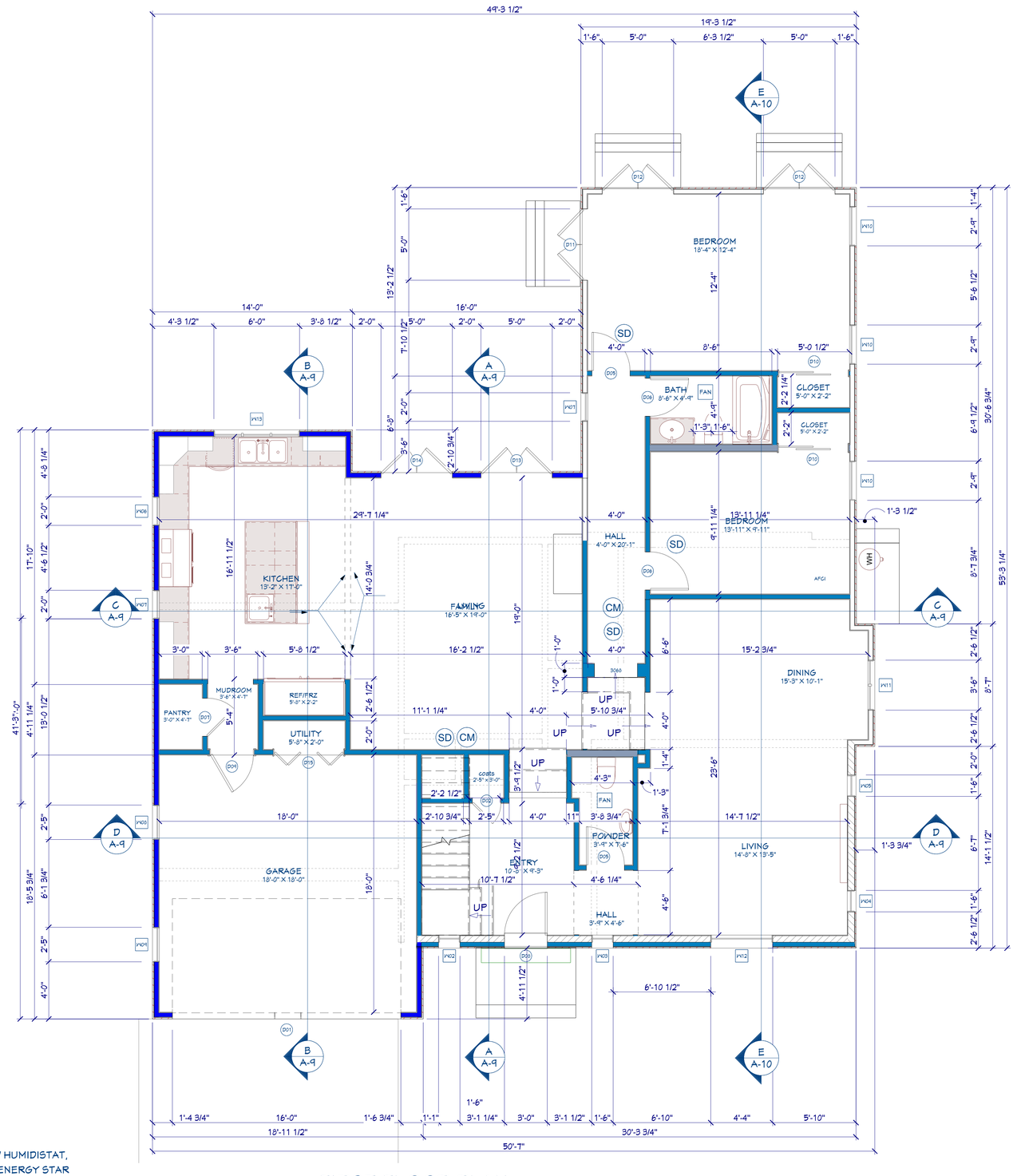
DATE:
11/30/2016

SCALE:

SHEET:
A 3

FIRST FLOOR RENDERING

N.T.S.



LEGEND:

- (E) WALL
- (N) WALL
- REMOVED WALL
- FAN — EXHAUST FAN W/ HUMIDISTAT, MIN 50 CFM, ENERGY STAR
- SD — SMOKE DETECTOR
- CM — CARBON MONOXIDE DETECTOR

FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

DOOR SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	THICKNESS	DESCRIPTION	FIRE	TEMPERED	SHGC	U-FACTOR	COMMENTS
D01	1	1	192 "	96 "	1 3/4"	GARAGE-GARAGE DOOR CHD05			0.3	0.3	
D02	1	1	24 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D05	2	1	32 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D06	2	1	32 "	64 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D07	1	1	32 "	96 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D08	1	1	36 "	80 "	1 3/4"	EXT. HINGED-DOOR E21			0.3	0.3	
D09	1	1	36 "	96 "	1 3/4"	EXT. HINGED-PANEL	YES		0.3	0.3	
D10	2	1	58 "	84 "	1 3/8"	SLIDER-PANEL			0.3	0.3	
D11	1	1	94 15/16 "	80 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D12	2	1	60 1/16 "	80 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D13	1	1	94 15/16 "	96 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D14	1	1	60 1/16 "	96 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D15	1	1	58 3/16 "	80 "	1 3/8"	EXT. 4 DR. BIFOLD-LOUVERED			0.3	0.3	
D16	1	2	34 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D17	1	2	28 "	72 "	1/2"	HINGED-GLASS			0.3	0.3	
D18	6	2	32 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D19	3	2	60 "	80 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	DESCRIPTION	TEMPERED	U-FACTOR	SHGC	SHUTTER SIZE	COMMENTS
W01	1	1	22 "	22 "		FIXED GLASS-AT		0.3	0.3		
W02	1	1	18 "	36 "		SNGL CASEMENT-HL	YES	0.3	0.3		
W03	1	1	18 "	36 "		SNGL CASEMENT-HR		0.3	0.3		
W04	1	1	18 "	54 "		SNGL CASEMENT-HL		0.3	0.3		
W05	1	1	18 "	54 "		SNGL CASEMENT-HR		0.3	0.3		
W06	1	1	24 "	54 "		SNGL CASEMENT-HL		0.3	0.3		
W07	2	1	24 "	54 "		SNGL CASEMENT-HR		0.3	0.3		
W08	1	1	24 "	48 "		SNGL CASEMENT-HL		0.3	0.3		
W09	1	1	24 "	48 "		SNGL CASEMENT-HR		0.3	0.3		
W10	3	1	33 "	42 "		SNGL CASEMENT-HR		0.3	0.3		
W11	1	1	42 "	48 "		DBL CASEMENT-LHL/RHR		0.3	0.3		
W12	1	1	52 "	80 "		FIXED GLASS		0.3	0.3		
W13	1	1	72 "	54 "		TRIPLE CASEMENT-LHL/RHR		0.3	0.3		
W14	1	2	18 "	18 "		SNGL CASEMENT-HL		0.3	0.3		
W15	1	2	18 "	18 "		SNGL CASEMENT-HR		0.3	0.3		
W16	1	2	18 "	36 "		SNGL CASEMENT-HL	YES	0.3	0.3		
W17	1	2	18 "	36 "		SNGL CASEMENT-HR	YES	0.3	0.3		
W18	2	2	20 "	20 "		FIXED GLASS-AT		0.3	0.3		
W19	1	2	24 "	36 "		FIXED GLASS	YES	0.3	0.3		
W20	1	2	24 "	36 "		SNGL CASEMENT-HL		0.3	0.3		
W21	2	2	24 "	36 "		SNGL CASEMENT-HR		0.3	0.3		
W22	1	2	24 "	38 "		SNGL CASEMENT-HL		0.3	0.3		
W23	1	2	24 "	38 "		SNGL CASEMENT-HR		0.3	0.3		
W24	1	2	30 "	38 "		SNGL CASEMENT-HL		0.3	0.3	15"X38" (2)	
W25	1	2	30 "	38 "		SNGL CASEMENT-HR		0.3	0.3	15"X38" (2)	
W26	1	2	33 "	38 "	YES	SNGL CASEMENT-HR		0.3	0.3	15"X38" (2)	
W27	1	2	36 "	48 "		DBL CASEMENT-LHL/RHR		0.3	0.3	15"X48" (2)	
W28	1	2	60 1/8 "	78 "		DBL CASEMENT-LHL/RHR		0.3	0.3		
W29	1	2	24 "	36 "		SNGL CASEMENT-HL		0.3	0.3	12"X36" (2)	
W30	1	2	24 "	36 "		SNGL CASEMENT-HR		0.3	0.3	12"X36" (2)	
W31	1	2	24 "	36 "		SNGL CASEMENT-HR	YES	0.3	0.3	12"X36" (2)	

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL
Tim Griffin
4536 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECTS LICENSE # C-23651
20361 2 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

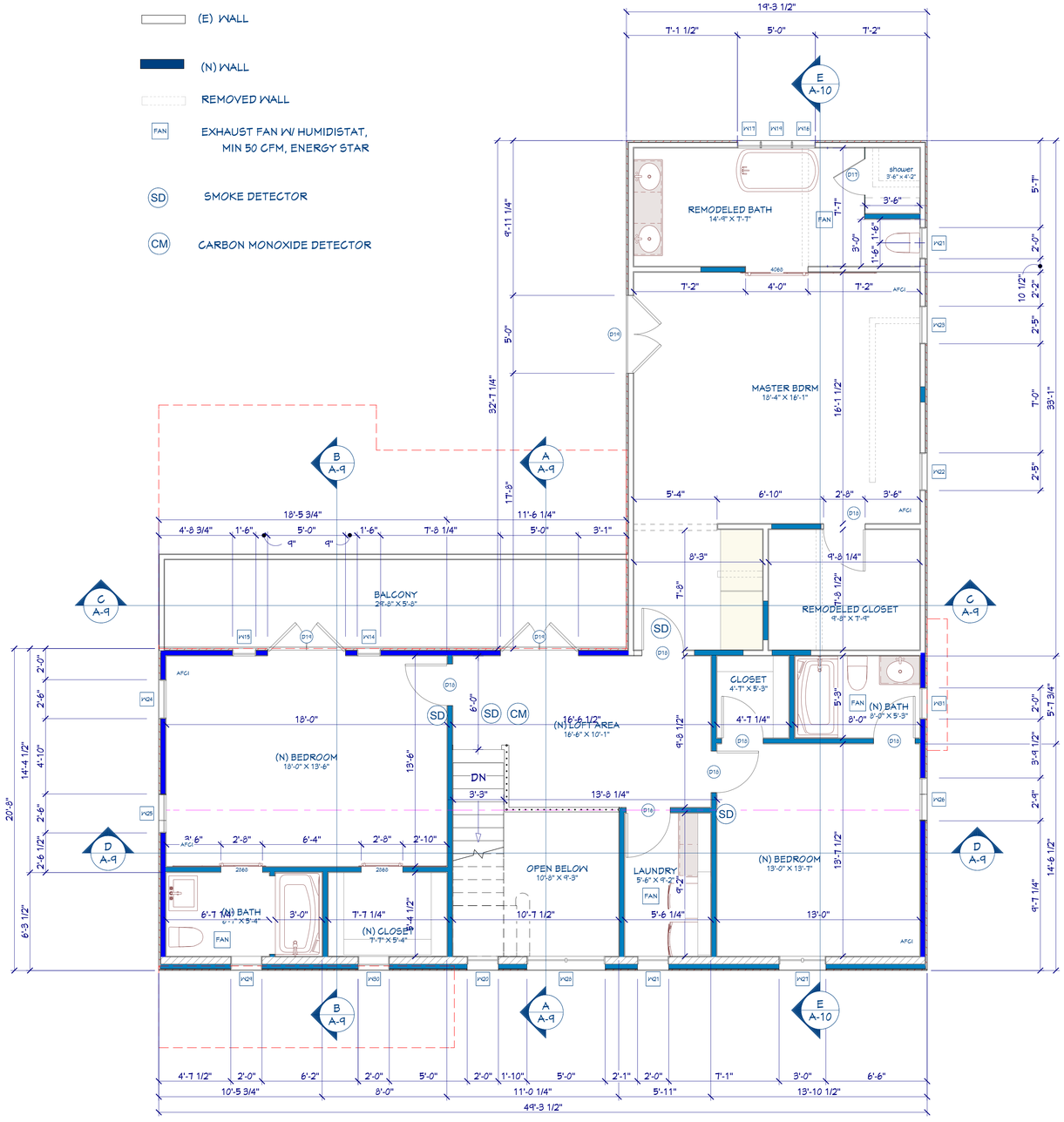
SHEET:
A 4

SECOND FLOOR RENDERING

N.T.S.

LEGEND:

- (E) WALL
- (N) WALL
- REMOVED WALL
- FAN — EXHAUST FAN W/ HUMIDISTAT, MIN 50 CFM, ENERGY STAR
- SD — SMOKE DETECTOR
- CM — CARBON MONOXIDE DETECTOR



SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"

DOOR SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	THICKNESS	DESCRIPTION	FIRE	TEMPERED	SHGC	U-FACTOR	COMMENTS
D01	1	1	142 "	96 "	1 3/4"	GARAGE-GARAGE DOOR CHD05			0.3	0.3	
D02	1	1	24 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D05	2	1	32 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D06	2	1	32 "	84 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D07	1	1	32 "	96 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D08	1	1	36 "	80 "	1 3/4"	EXT. HINGED-DOOR E21			0.3	0.3	
D09	1	1	36 "	96 "	1 3/4"	EXT. HINGED-PANEL	YES		0.3	0.3	
D10	2	1	58 "	84 "	1 3/8"	SLIDER-PANEL			0.3	0.3	
D11	1	1	59 15/16 "	80 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D12	2	1	60 1/16 "	80 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D13	1	1	59 15/16 "	96 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D14	1	1	60 1/16 "	96 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	
D15	1	1	58 3/16 "	80 "	1 3/8"	EXT. 4 DR. BIFOLD-LOUVERED			0.3	0.3	
D16	1	2	34 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D17	1	2	28 "	72 "	1/2"	HINGED-GLASS			0.3	0.3	
D18	6	2	32 "	80 "	1 3/8"	HINGED-PANEL			0.3	0.3	
D19	3	2	60 "	80 "	1 3/4"	EXT. DOUBLE HINGED-GLASS		YES	0.3	0.3	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	DESCRIPTION	TEMPERED	U-FACTOR	SHGC	SHUTTER SIZE	COMMENTS
W01	1	1	22 "	22 "		FIXED GLASS-AT		0.3	0.3		
W02	1	1	18 "	36 "		SNGL CASEMENT-HL	YES	0.3	0.3		
W03	1	1	18 "	36 "		SNGL CASEMENT-HR		0.3	0.3		
W04	1	1	18 "	54 "		SNGL CASEMENT-HL		0.3	0.3		
W05	1	1	18 "	54 "		SNGL CASEMENT-HR		0.3	0.3		
W06	1	1	24 "	54 "		SNGL CASEMENT-HL		0.3	0.3		
W07	2	1	24 "	54 "		SNGL CASEMENT-HR		0.3	0.3		
W08	1	1	24 "	48 "		SNGL CASEMENT-HL		0.3	0.3		
W09	1	1	24 "	48 "		SNGL CASEMENT-HR		0.3	0.3		
W10	3	1	33 "	42 "		SNGL CASEMENT-HR		0.3	0.3		
W11	1	1	42 "	48 "		DBL CASEMENT-LHL/RHR		0.3	0.3		
W12	1	1	52 "	80 "		FIXED GLASS		0.3	0.3		
W13	1	1	72 "	54 "		TRIPLE CASEMNT-LHL/RHR		0.3	0.3		
W14	1	2	18 "	18 "		SNGL CASEMENT-HL		0.3	0.3		
W15	1	2	18 "	18 "		SNGL CASEMENT-HR		0.3	0.3		
W16	1	2	18 "	36 "		SNGL CASEMENT-HL	YES	0.3	0.3		
W17	1	2	18 "	36 "		SNGL CASEMENT-HR	YES	0.3	0.3		
W18	2	2	20 "	20 "		FIXED GLASS-AT		0.3	0.3		
W19	1	2	24 "	36 "		FIXED GLASS	YES	0.3	0.3		
W20	1	2	24 "	36 "		SNGL CASEMENT-HL		0.3	0.3		
W21	2	2	24 "	36 "		SNGL CASEMENT-HR		0.3	0.3		
W22	1	2	24 "	38 "		SNGL CASEMENT-HL		0.3	0.3		
W23	1	2	24 "	38 "		SNGL CASEMENT-HR		0.3	0.3		
W24	1	2	30 "	38 "		SNGL CASEMENT-HL		0.3	0.3	15"X38" (2)	
W25	1	2	30 "	38 "		SNGL CASEMENT-HR		0.3	0.3	15"X38" (2)	
W26	1	2	33 "	38 "	YES	SNGL CASEMENT-HR		0.3	0.3	15"X38" (2)	
W27	1	2	36 "	48 "		DBL CASEMENT-LHL/RHR		0.3	0.3	15"X48" (2)	
W28	1	2	60 1/8 "	72 "		DBL CASEMENT-LHL/RHR		0.3	0.3		
W29	1	2	24 "	36 "		SNGL CASEMENT-HL		0.3	0.3	12"X36" (2)	
W30	1	2	24 "	36 "		SNGL CASEMENT-HR		0.3	0.3	12"X36" (2)	
W31	1	2	24 "	36 "		SNGL CASEMENT-HR	YES	0.3	0.3	12"X36" (2)	

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

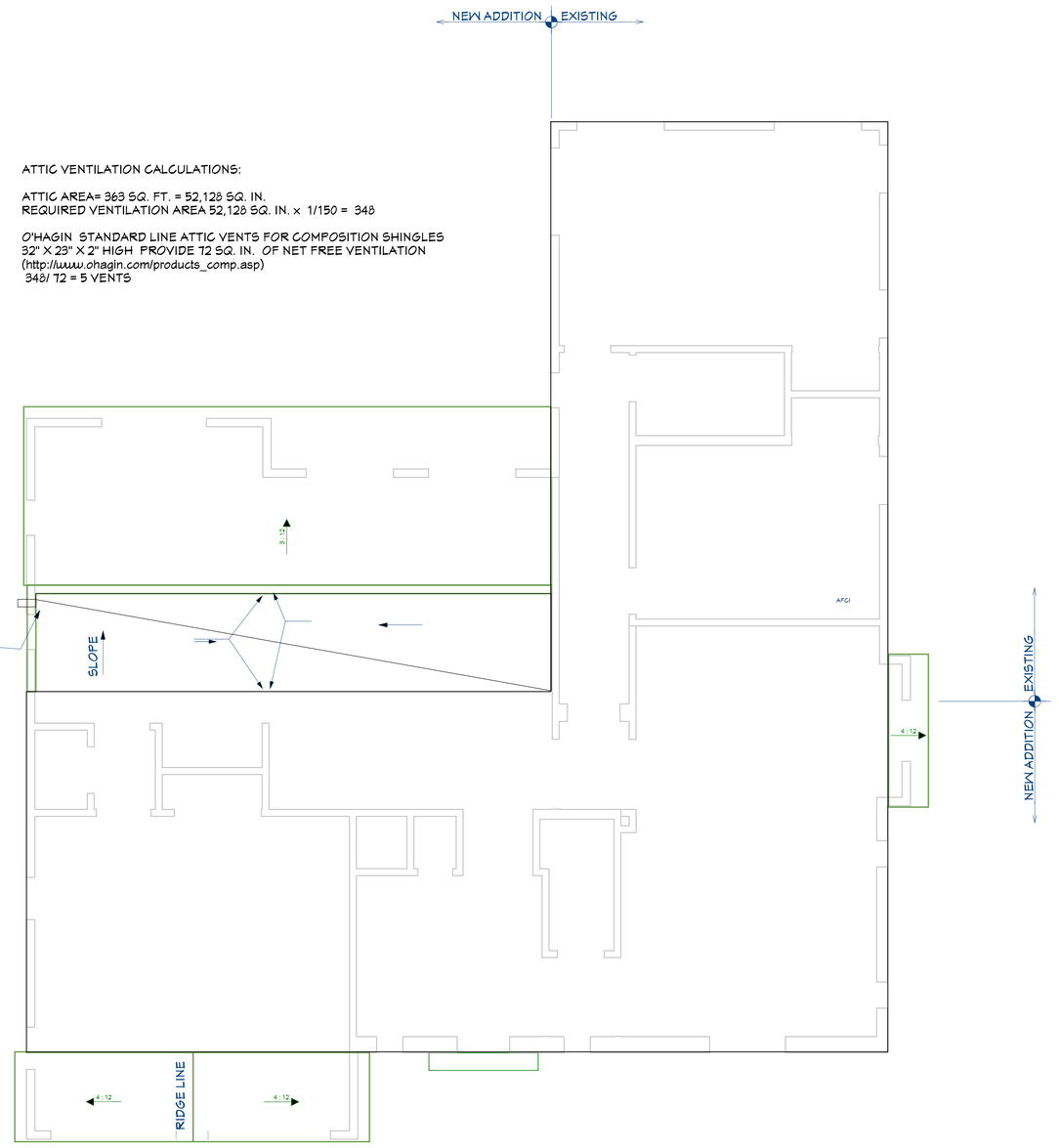
Tim Griffin
4836 Pleiclida Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAYRENCE WOODCRAFT & ASSOCIATES
LISTRA WOODCRAFT, CA ARCHITECTS LICENSE # C-23851
20012 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 5



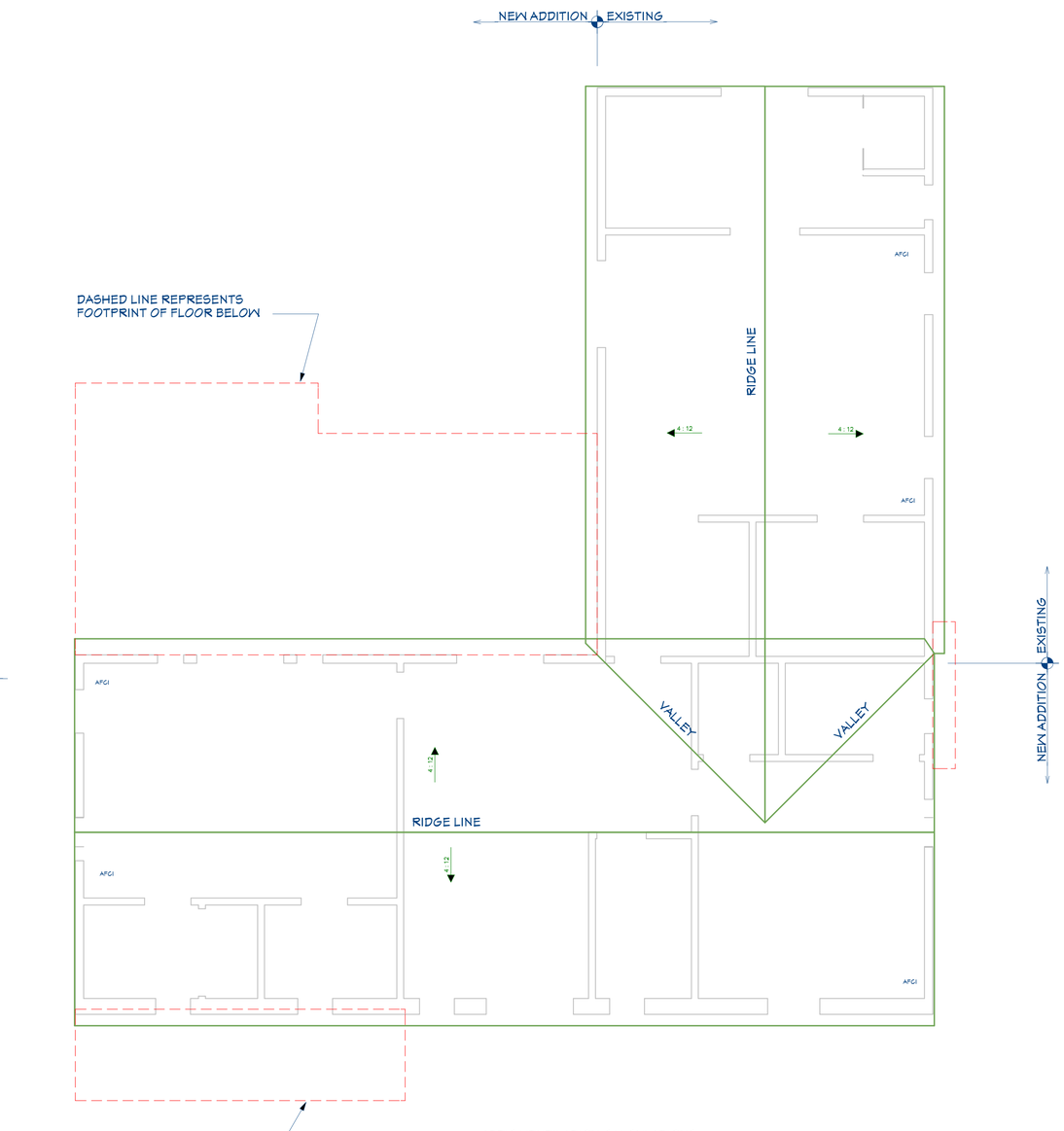
ATTIC VENTILATION CALCULATIONS:

ATTIC AREA= 363 SQ. FT. = 52,128 SQ. IN.
REQUIRED VENTILATION AREA 52,128 SQ. IN. x 1/150 = 348

O'HAGIN STANDARD LINE ATTIC VENTS FOR COMPOSITION SHINGLES
32" X 23" X 2" HIGH PROVIDE 72 SQ. IN. OF NET FREE VENTILATION
(http://www.ohagin.com/products_comp.asp)
348/ 72 = 5 VENTS

LOWER ROOF PLAN

SCALE: 1/4"= 1'-0"



ATTIC VENTILATION CALCULATIONS:

ATTIC AREA= 1,648 SQ. FT. = 237,312 SQ. IN.
REQUIRED VENTILATION AREA 237,312 SQ. IN. x 1/150 = 1582

O'HAGIN STANDARD LINE ATTIC VENTS FOR COMPOSITION SHINGLES 32" X 23" X 2"
HIGH PROVIDE 72 SQ. IN. OF NET FREE VENTILATION
(http://www.ohagin.com/products_comp.asp)
1582/ 72 = 22 VENTS

NOTES:
VERIFY TOP OF CHIMNEY TO BE 2' ABOVE ANY ROOF OR WALL WITHIN 10' HORIZ.
IF REQUIRED, INCREASE HEIGHT OF CHIMNEY USING LADBS INFORMATION BULLETIN

ROOF PLAN

SCALE: 1/4"= 1'-0"

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

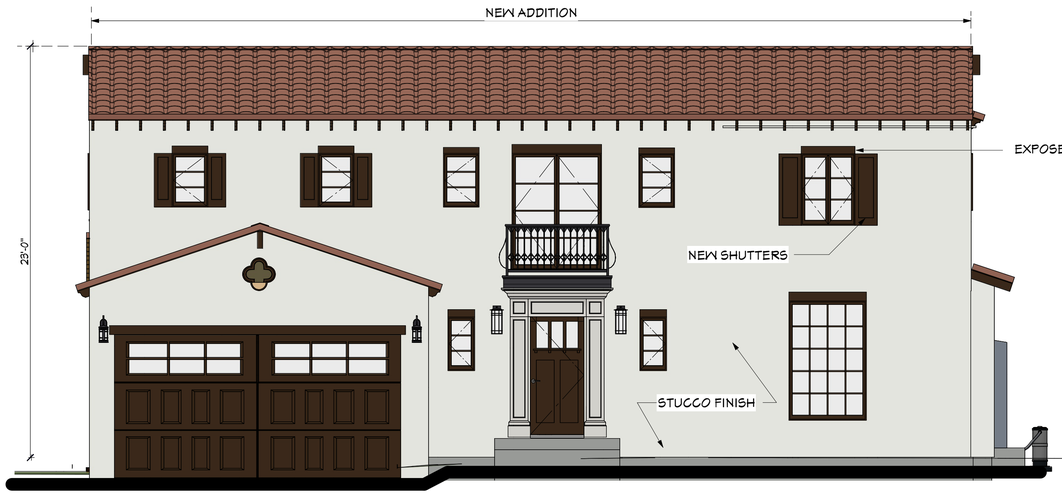
Tim Griffin
4936 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECTS LICENSE # C-23651
20612 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

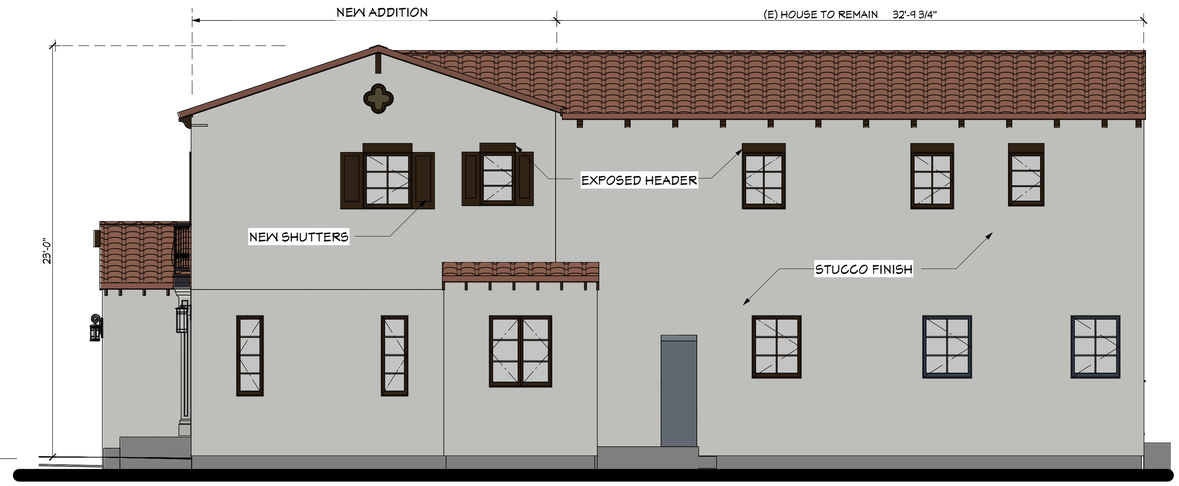
SCALE:

SHEET:
A 6



FRONT ELEVATION

SCALE: 1/4"= 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

FRONT YARD PERPECTIVE

SCALE: N.T.S.

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

Tim Griffin
4536 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
20312 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
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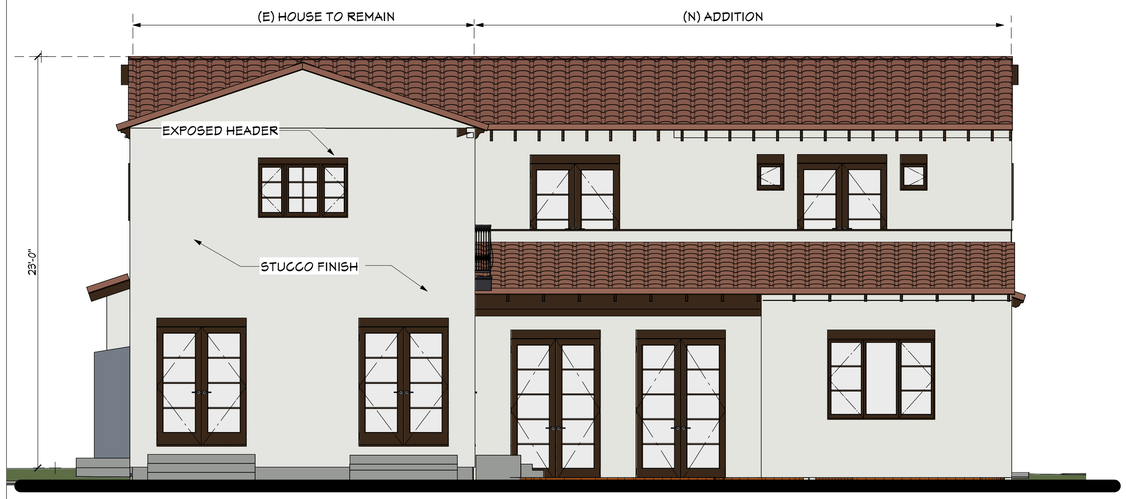
DATE:
11/30/2016

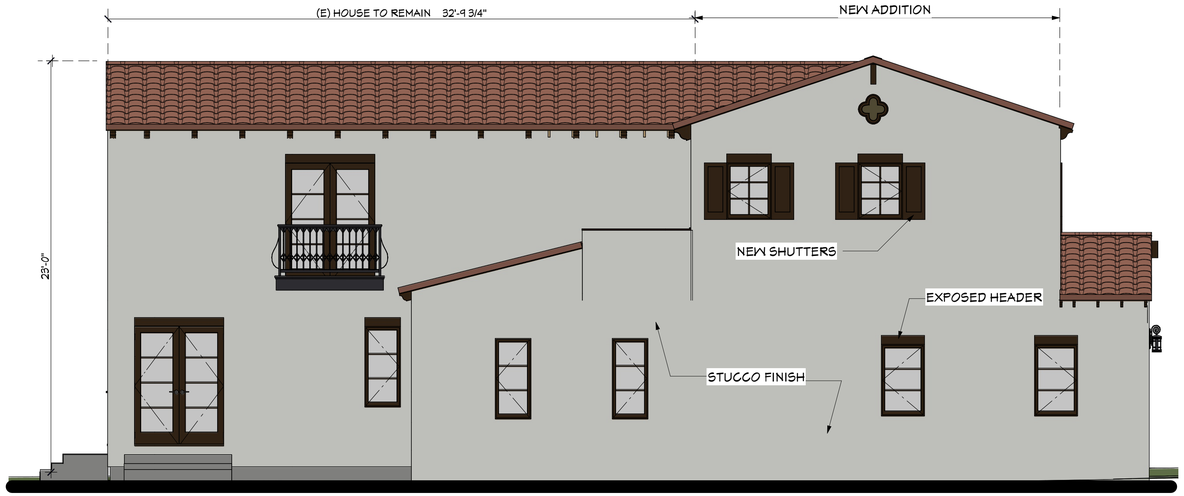
SCALE:

SHEET:
A 7



REAR ELEVATION

SCALE: 1/4"= 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

REAR YARD PERPECTIVE

SCALE: 1/4"= 1'-0"

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

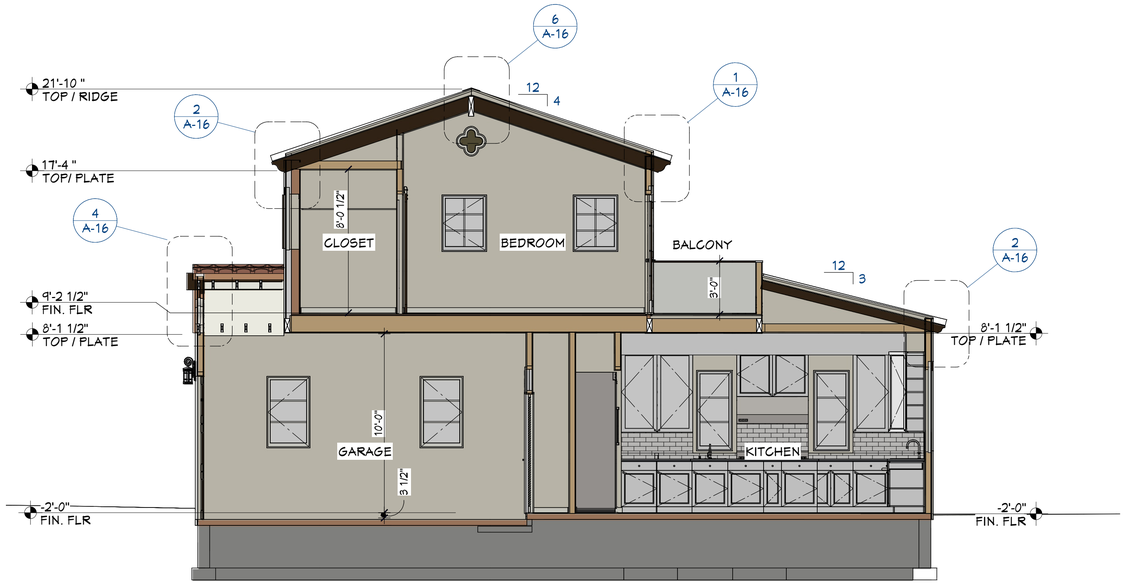
Tim Griffin
4836 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
LISTED WOODCRAFT, CA ARCHITECTS LICENSE # C-23651
20012 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

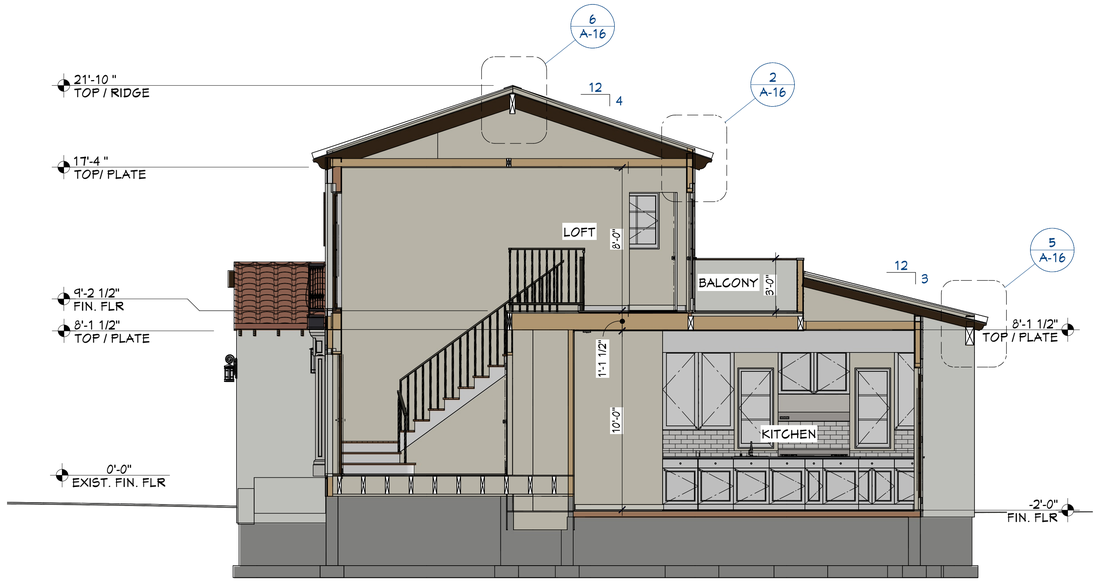
SCALE:

SHEET:
A 8



B SECTION

SCALE: 1/4"= 1'-0"

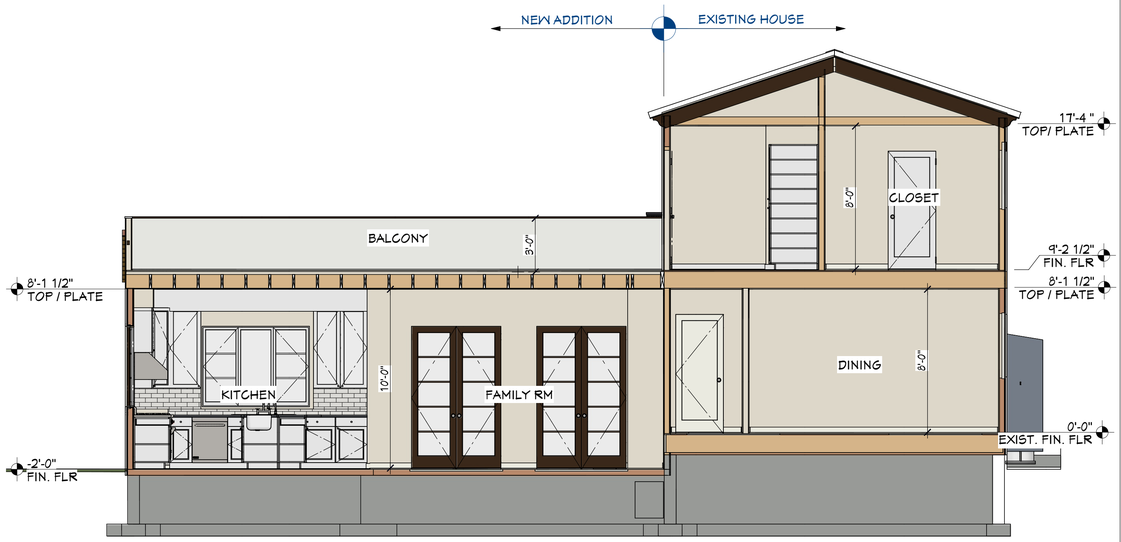


A SECTION

SCALE: 1/4"= 1'-0"

D SECTION

SCALE: 1/4"= 1'-0"



C SECTION

SCALE: 1/4"= 1'-0"

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

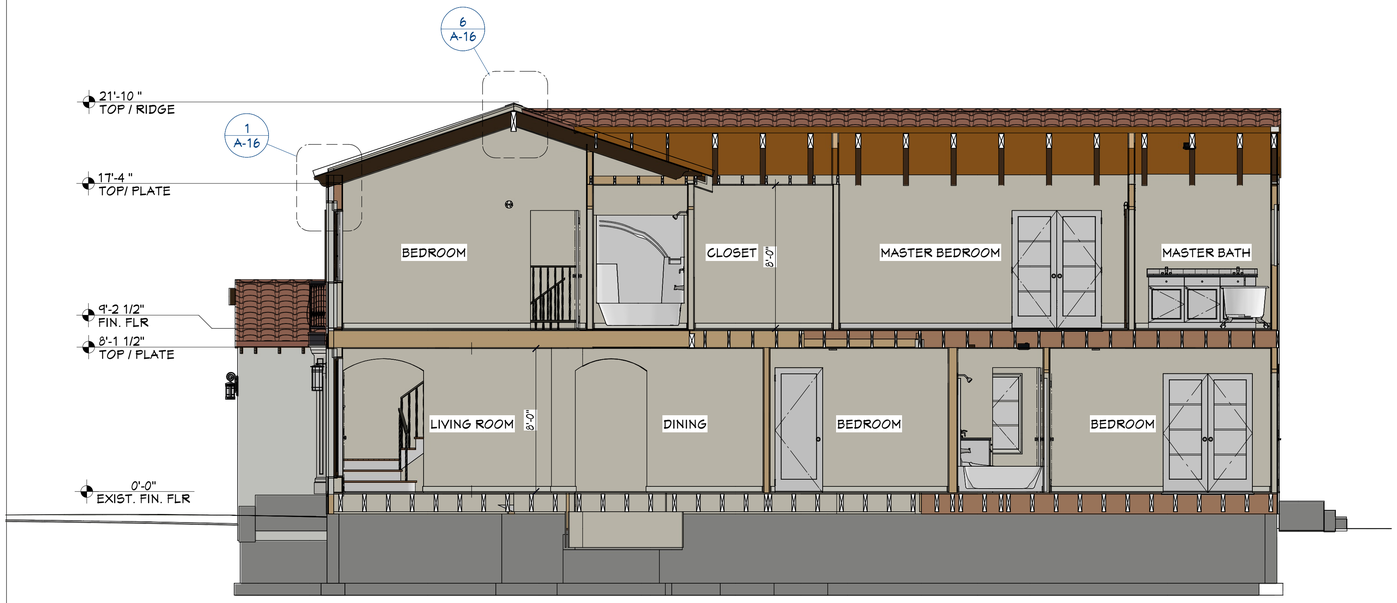
PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL
Tim Griffin
4636 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
20812 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 9



E SECTION

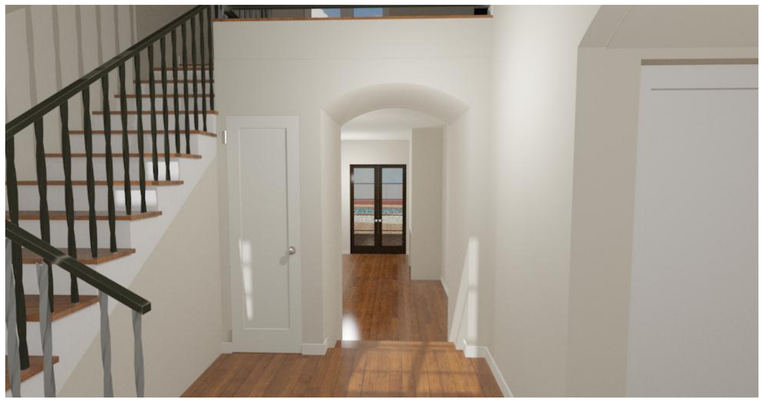
SCALE: 1/4"= 1'-0"

FAMILY ROOM PERPECTIVE

SCALE: N.T.S.

LIVING/DINING ROOM PERPECTIVE

SCALE: N.T.S.



ENTRY PERPECTIVE

SCALE: N.T.S.

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

Tim Griffin
4936 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECTS LICENSE # C-23651
20512 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 10

CONC PAD

1. 36" x 36 "x 8 " CONC. PAD PER DETAIL 3/A-14
2. 30" x 30 "x 8 " CONC. PAD PER DETAIL 9/A-12

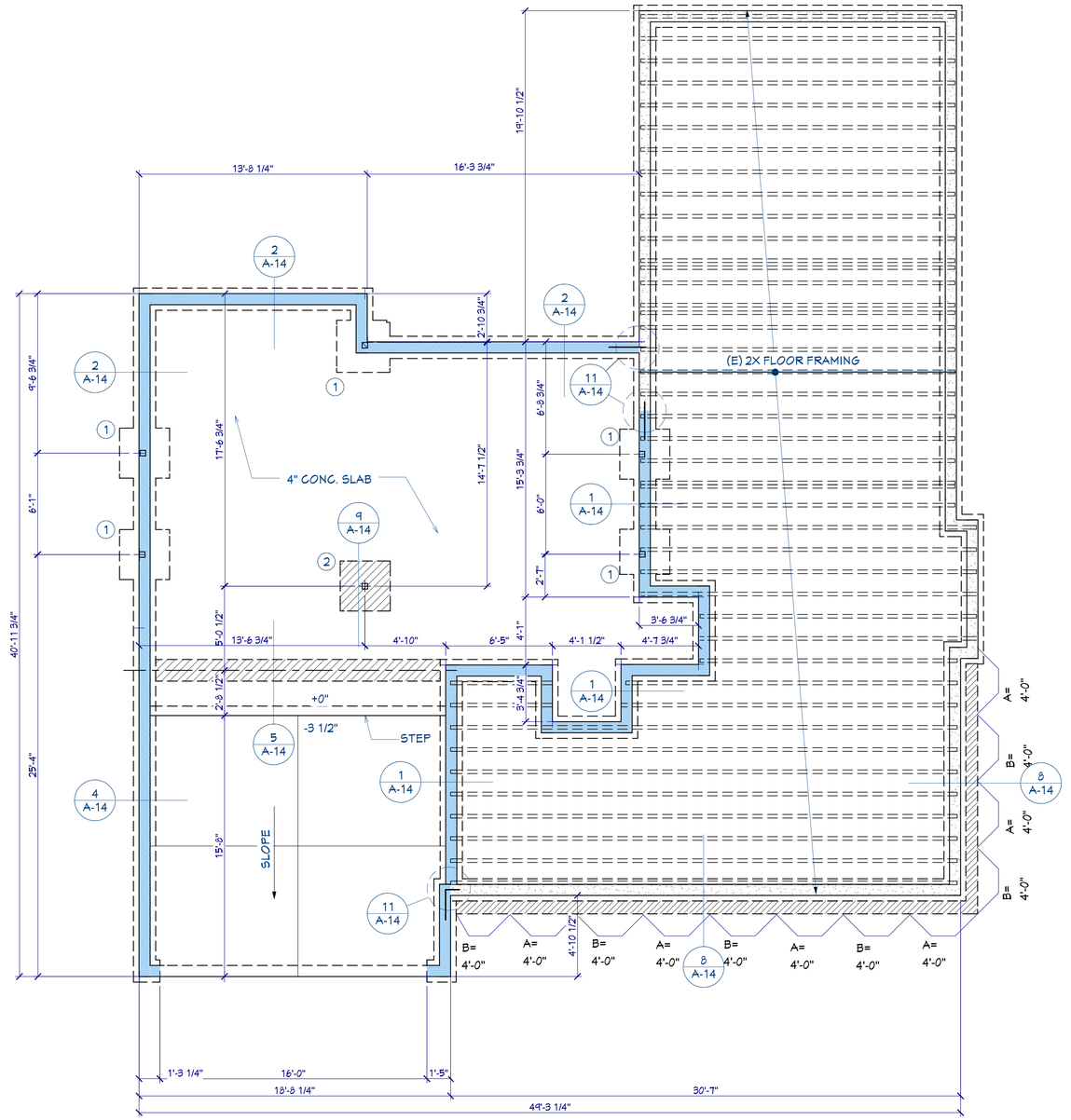
LEGEND

EXISTING FOUNDATION

NEW FOUNDATION

A or B = 4'-0" max

18" WIDE NEW UNDERPIN FOOTING PER DETAIL 8/A-14



FOUNDATION / FRAMING PLAN

SCALE: 1/4"= 1'-0"

FOUNDATION NOTES:

1. If adverse soil conditions are encountered, a soils investigation report may be required.

FOOTINGS ON EXPANSIVE SOILS
Footing systems on expansive soil shall be constructed in a manner that will minimize damage to the structure from movement of the soil. All soil in the City of Los Angeles is considered expansive unless proven otherwise by an approved soils report.
1. Depth of footings below the natural and finished grades shall not be less than 24 inches for exterior and 18 inches for interior footings.
2. Exterior walls and interior bearing walls shall be supported on continuous footings.
3. Footings shall be reinforced with four ½-inch diameter deformed reinforcing bars. Two bars shall be placed 4 inches from the bottom of the footing and two bars within 4 inches from the top of the footing. Reinforcement shall have minimum 3-inch concrete cover for concrete cast against earth and reinforcement not exceeding 5/8-inch shall have minimum 1-1/2-inch concrete cover when not cast against earth.
4. Concrete floor slabs on grade shall be placed on a 4-inch fill of coarse aggregate or on a 2-inch sand bed covered with a minimum 6 mil moisture barrier membrane. The slabs shall be at least 3-1/2 inches thick and shall be reinforced with ½" diameter deformed reinforcing bars. Reinforcing bars shall be spaced at intervals not exceeding 16 inches each way.
5. The soil below an interior concrete slab shall be saturated with moisture to a depth of 18 inches prior to placing the concrete.
6. All drainage adjacent to footings shall be conducted away from the structure by a 3-ft wide sloped apron draining into an approved non-erosive device.

STRUCTURAL NOTES:

1. Contractors responsible for the construction of a wind or seismic force resisting system/component listed in the "Statement of Special Inspection" shall submit a written statement of responsibility to the LADBS Inspectors and the owner prior to the commencement of work on such system or component per Sec 1709.1
2. Continuous Special Inspection by a registered deputy inspector is required for field welding, concrete strength f'c> 2500 psi, high strength bolting, sprayed-on fireproofing, engineered masonry, high-lift Routing, pre-stressed concrete, high load diaphragms and special moment-resisting concrete frames. (1704 & Chapters 19, 21, and 22)
3. Foundation sills shall be naturally durable or preservative-treated wood. (2304.11.2.4)
4. Field Welding to be done by welders certified by the LADBS for (structural steel)(reinforcing steel)(light auge steel). Continuous inspection by a deputy inspector is required.
5. Shop welds must be performed in a LADBS licenced fabricator's shop.
6. LADBS licensed fabricator is required for (Trusses), (Structural Steel) ....
7. Glue lam beams must be fabricated in a LADBS licenced shop. Identify grade symbol and lamination species per T 5-A, 2005 NDS Supp.
8. Provide lead hole 40%-70% of threaded shank dia. and full dia. for smooth shank portion." 2005NDS
9. Periodic Special Inspection is required for wood shear walls, shear panels, and diaphragms, including nailing, bolting, anchoring, and other fastening to components of the seismic force resisting system. Special inspection by a deputy inspector is required where the fastener spacing of the sheathing is 4 inches on center or less. (1707.3)
10. Special Activity inspection is required for (buildings over 5 stories or 60' in height) (buildings over 50,000 sq ft of ground floor area) (buildings over 200,000 sq ft of floor area) (1704.21)
11. A copy of the Los Angeles Research Report and/or conditions of listing shall be made available at the job site.

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

Tim Griffin
4536 Claudia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
20312 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 11

SHEAR WALL NOTES:

1. The following applies to all shear walls with a shear value greater than 350 plf. (Table 2306.3(2) footnote i)
a. 3x sill plates.
b. 3 x studs and blocks between adjacent panels.
c. 1/2" edge distance for plywood boundary nailing.
d All panel joint and sill plate nailing shall be staggered.

2. Hold-down connector bolts into wood framing require approved plate washers; and hold-downs shall be finger tight and ½ wrench turn just prior to covering the wall framing. Connector bolts into wood framing require steel plate washers in accordance with Table 2305.5 of the LA Building Code. (2305.5)

3. All diaphragm and shear wall nailing shall utilize common nails or galvanized box.

4. All bolt holes shall be drilled 1/32 to 1/16" oversized. (11.1.2.2, '05 NDS)

5. Hold-down hardware must be secured in place prior to foundation inspection

6. Anchor bolts shall be provided with minimum 0.229-inch x 3-inch x 3-inch plate washer.

SHEAR WALL SCHEDULE:

1 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 6,6,12 = 340#.
3x MUDSILL W/ MIN. 4 x 4 WD POST & HDU5 HOLDDOWN @ BEG. & END ALL SHEAR WALLS

2 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 4,4,12 = 510#.
3x MUDSILL W/ MIN. 4 x 4 WD POST & HDU5 HOLDDOWN @ BEG. & END ALL SHEAR WALLS

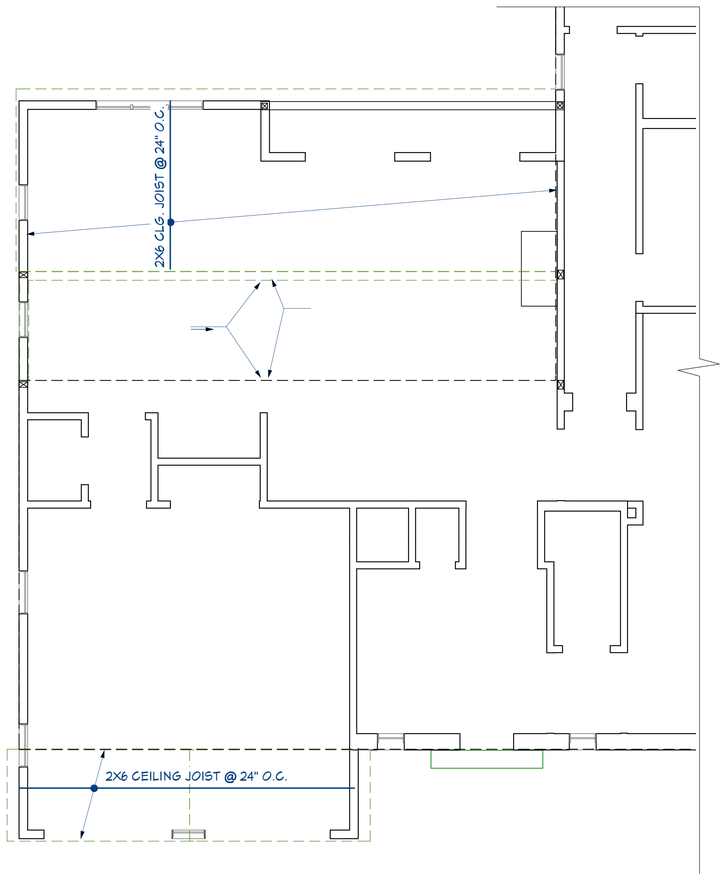
3 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 3,3,12 = 665#.
3x MUDSILL W/ MIN. 4 x 4 WD POST & HDU5 HOLDDOWN @ BEG. & END ALL SHEAR WALLS
SPECIAL INSPECTION BY DEPUTY INSPECTOR REQUIRED FOR SHEAR WALLS WITH FASTENER SPACING LESS THAN 4" O.C.

4 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 6,6,12 = 340#.
MSTI 72 STRAP @ BEG. & END ALL SHEAR WALLS

5 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 4,4,12 = 510#.
MSTI 72 STRAP @ BEG. & END ALL SHEAR WALLS

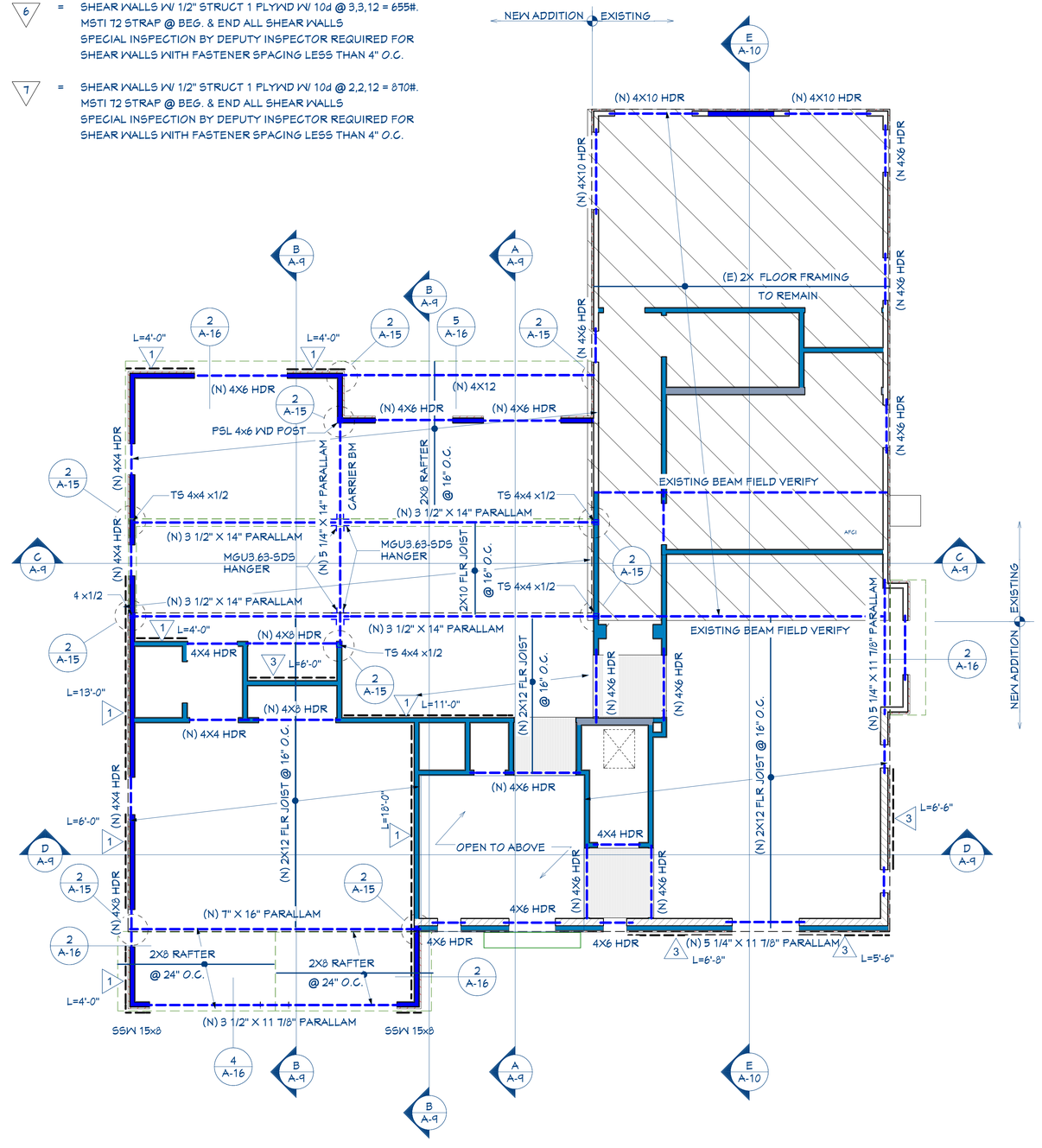
6 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 3,3,12 = 655#.
MSTI 72 STRAP @ BEG. & END ALL SHEAR WALLS
SPECIAL INSPECTION BY DEPUTY INSPECTOR REQUIRED FOR SHEAR WALLS WITH FASTENER SPACING LESS THAN 4" O.C.

7 = SHEAR WALLS W/ 1/2" STRUCT 1 PLYWD W/ 10d @ 2,2,12 = 870#.
MSTI 72 STRAP @ BEG. & END ALL SHEAR WALLS
SPECIAL INSPECTION BY DEPUTY INSPECTOR REQUIRED FOR SHEAR WALLS WITH FASTENER SPACING LESS THAN 4" O.C.



1ST FLR CEILING FRAMING PLAN

SCALE: 1/4"= 1'-0"



FLOOR FRAMING PLAN

SCALE: 1/4"= 1'-0"

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL
Tim Griffin
4636 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
20812 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

SHEET:
A 12

SHEAR WALL NOTES:

1. The following applies to all shear walls with a shear value greater than 350 plf. (Table 2306.3(2) footnote i)
a. 3x sill plates.
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d All panel joint and sill plate nailing shall be staggered.

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MSTI 72 STRAP @ BEG. & END ALL SHEAR WALLS
SPECIAL INSPECTION BY DEPUTY INSPECTOR REQUIRED FOR SHEAR WALLS WITH FASTENER SPACING LESS THAN 4" O.C.

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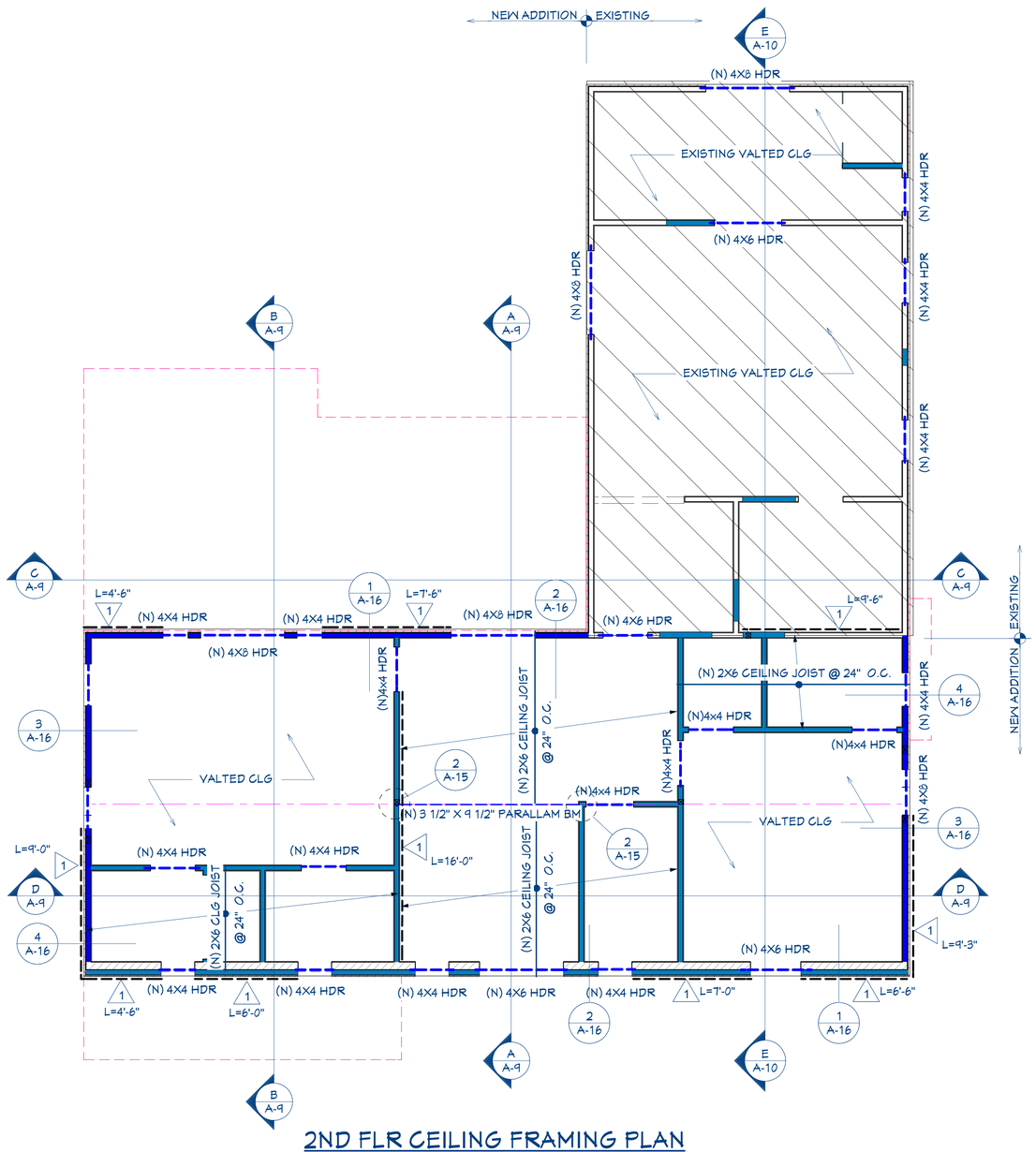
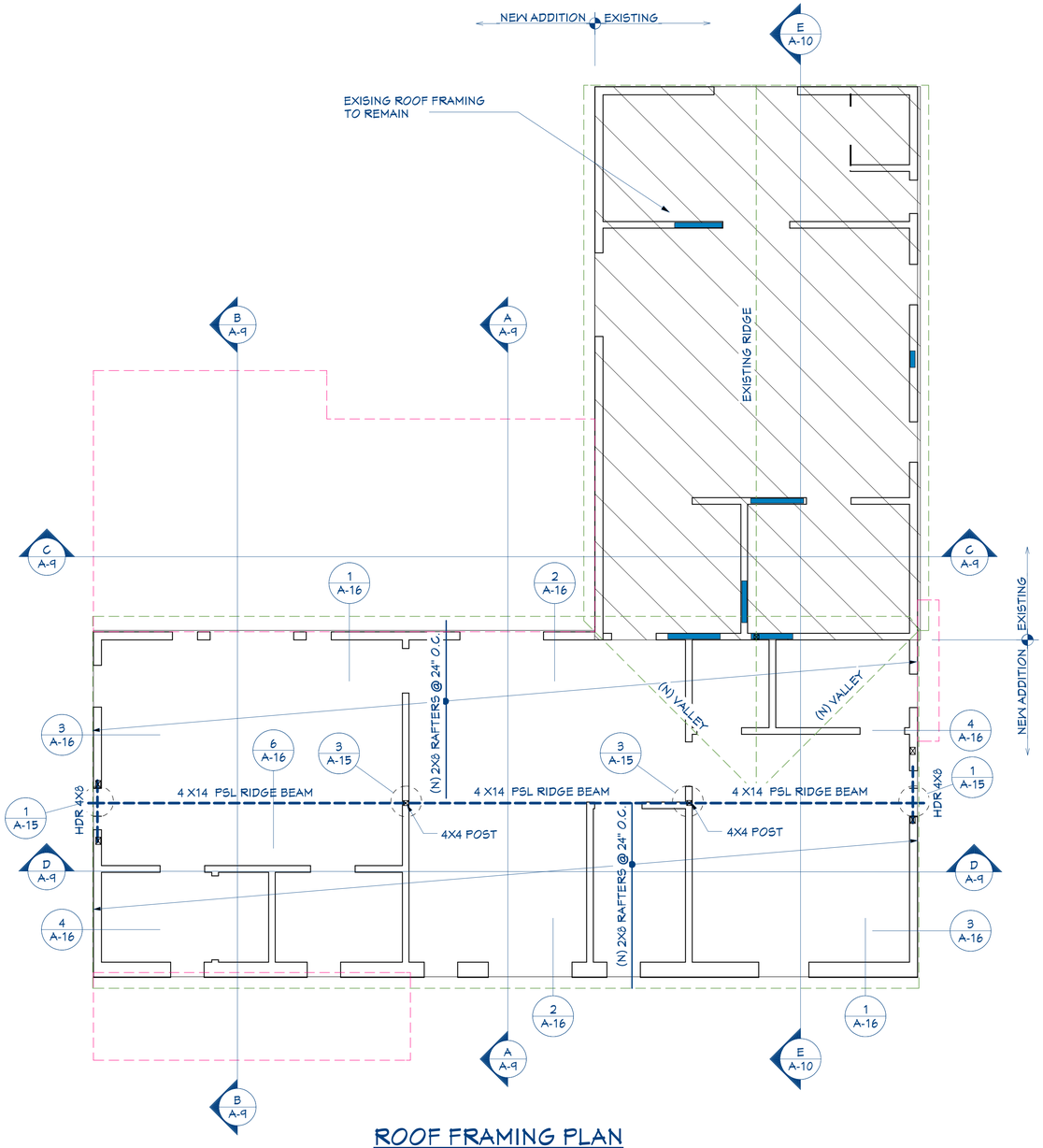
SPECIAL INSPECTION BY DEPUTY INSPECTOR REQUIRED FOR SHEAR WALLS WITH FASTENER SPACING LESS THAN 4" O.C.



2ND FLR CEILING FRAMING PLAN

SCALE: 1/4"= 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4"= 1'-0"

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL
Tim Griffin
4836 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
A STRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
20012 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
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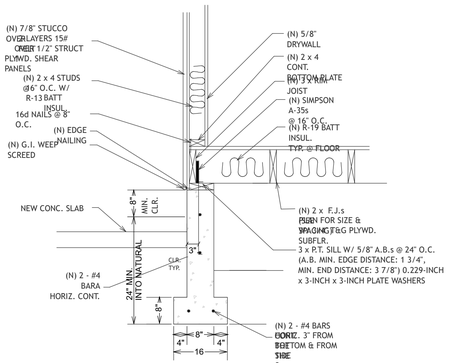
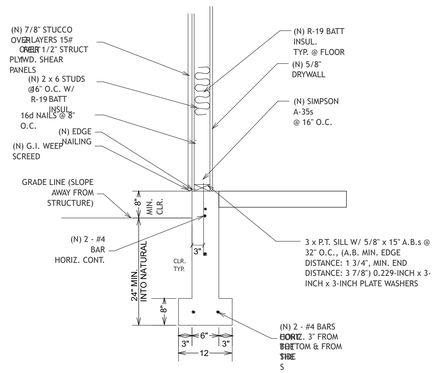
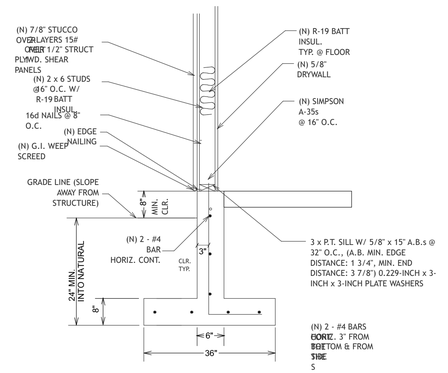
A 13



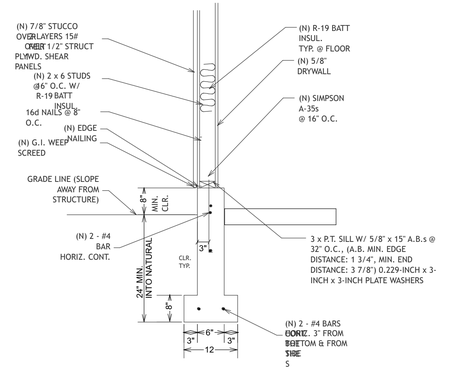
1 RAISED FOUNDATION DETAIL



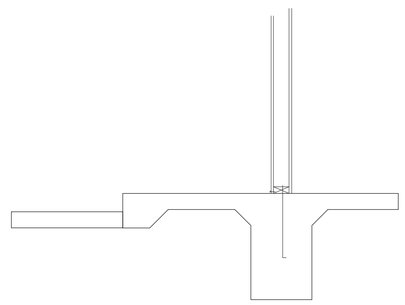
2 NEW FOUNDATION DETAIL



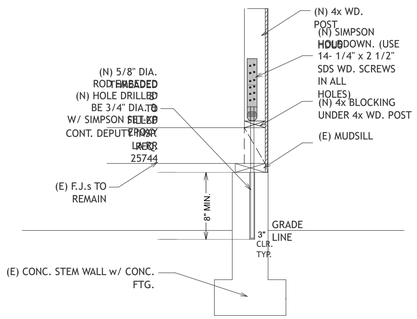
3 SPREAD FOOTING



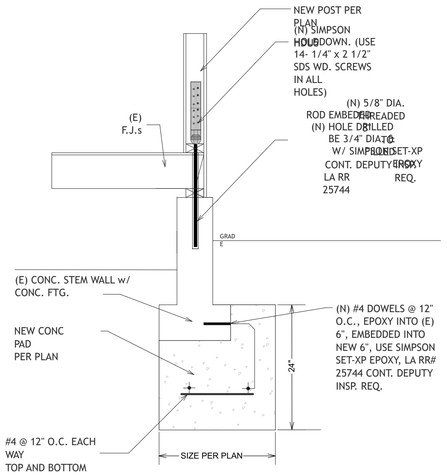
4 NEW FOUNDATION DETAIL (GARAGE)



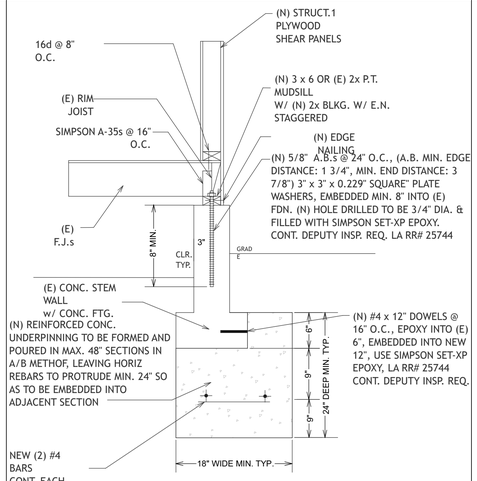
5 INTERIOR BEARING FTG



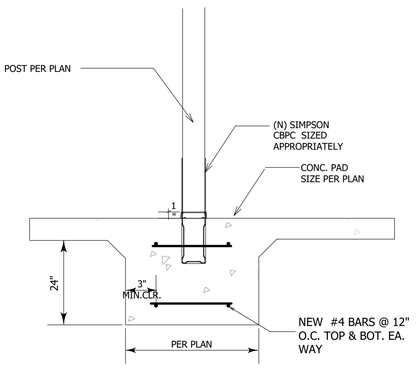
6 HOLDDOWN TO (E) FOUNDATION DETAIL



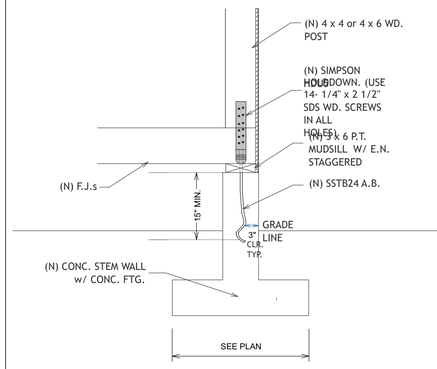
7 UNDERPIN FOOTING DETAIL



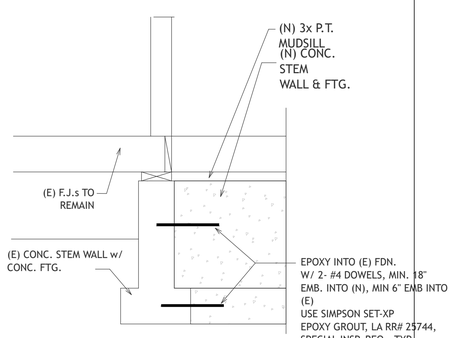
8 UNDERPIN FOOTING DETAIL



9 POST DETAIL



10 HOLDDOWN INTO NEW FOUNDATION DETAIL



11 EXISTING TO NEW FOUNDATION DETAIL

12

13

14

15

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

Tim Griffin
4836 Pleiclida Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECTS LICENSE # C-23651
20012 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-1752
www.woodcrataarchitecture.com

DATE:
11/30/2016

SCALE:

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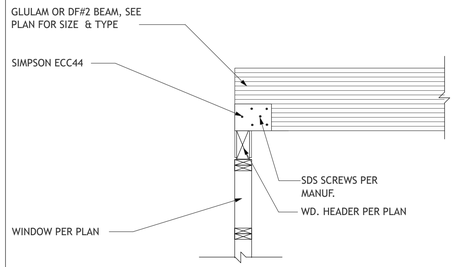
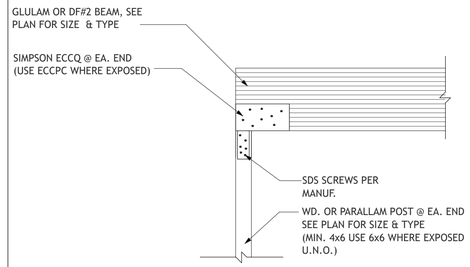
A 14



1 BEAM CONNECTION



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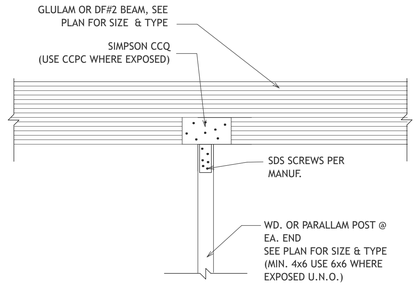

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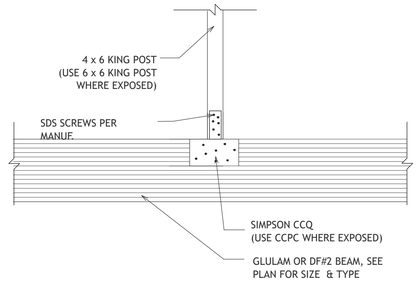

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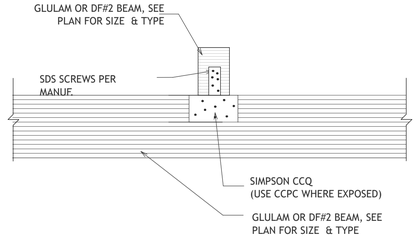
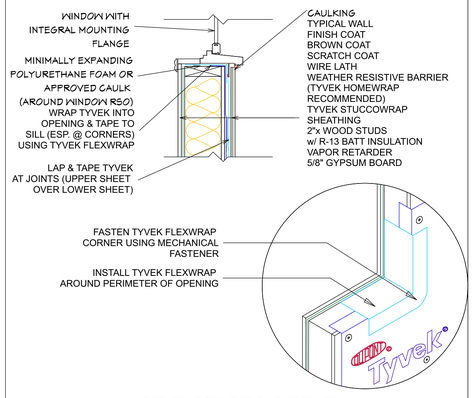


5

GENERAL NOTES
*SEAL ALL TYVEK JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.
*INSTALL STUCCO ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS



6 WINDOW SILL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO

*SEAL ALL TYVEK JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
*LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.
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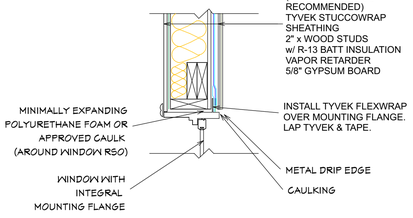

7 WINDOW HEAD DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO

*SEAL ALL TYVEK JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
*FASTEN TYVEK TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS.(ex. DUPONT WRAPCAPS)
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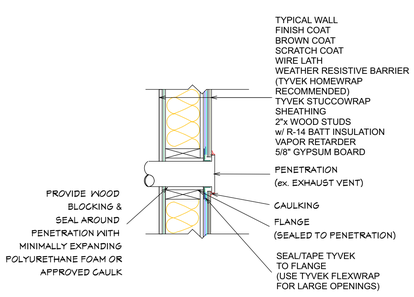
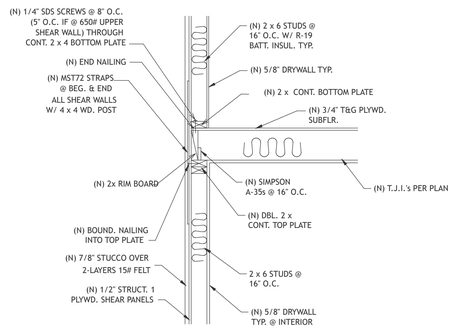
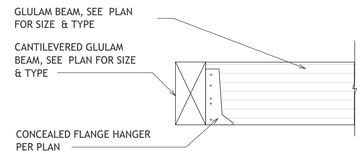


8 WALL PENETRATION DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO



9 FIRST TO SECOND FLOOR DETAIL



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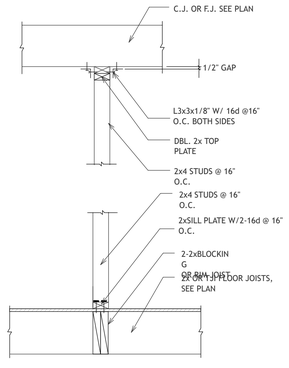
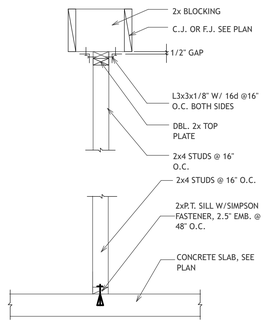


12 NON BEARING WALL



13

14

REVISION TABLE

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Tim Griffin
4836 Fiedlia Ave
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DRAWINGS PROVIDED BY:
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dba TRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
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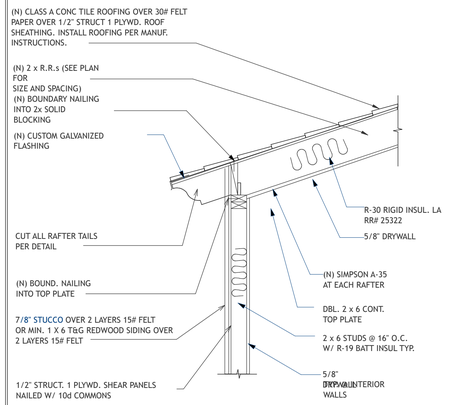
818-701-1752
www.woodcraftarchitecture.com

DATE:
11/30/2016

SCALE:

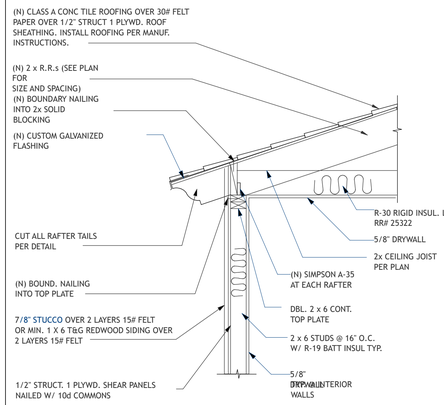
SHEET:
A 15

Note: Roofs with slopes < 2:12 shall have an SRI value of at least 75 or both a 3-year solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2:12 shall have an SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75.

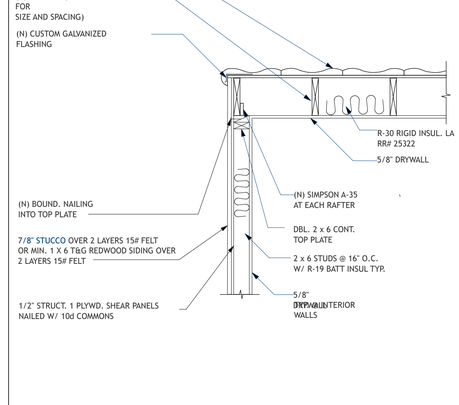


1 ROOF DETAIL (VAULTED CEILING)

Note: Roofs with slopes < 2:12 shall have an SRI value of at least 75 or both a 3-year solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2:12 shall have an SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75.

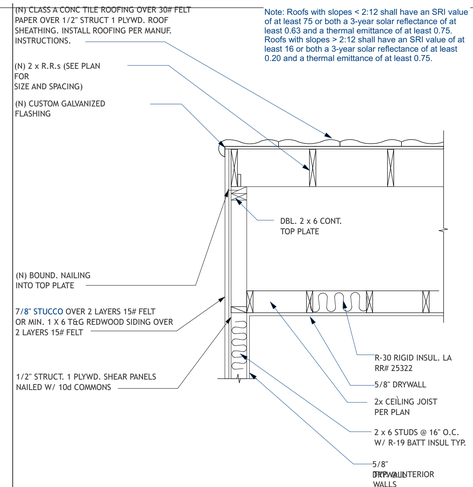


2 ROOF DETAIL (FLAT CEILING)

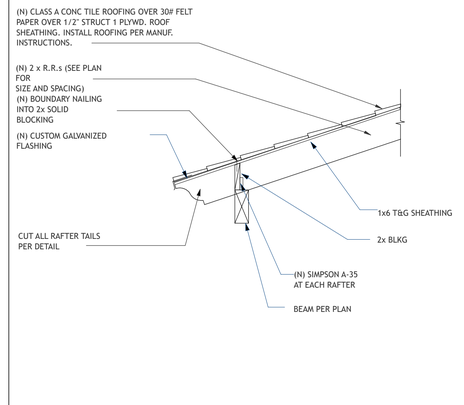


3 GABLE END FRAMING (VAULTED CEILING)

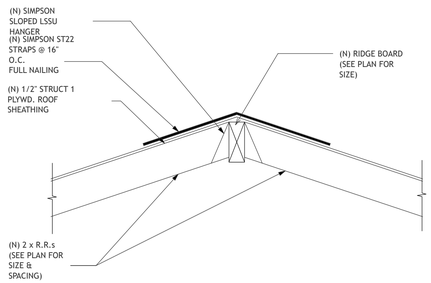
Note: Roofs with slopes < 2:12 shall have an SRI value of at least 75 or both a 3-year solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2:12 shall have an SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75.



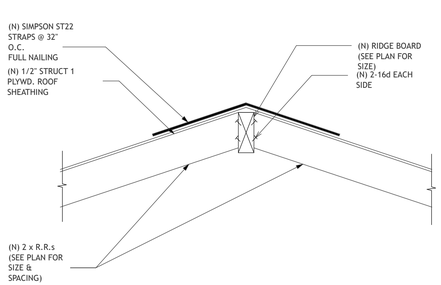
4 GABLE END FRAMING (FLAT CEILING)



5 ROOF DETAIL



6 RIDGE BEAM CONNECTION



7 RIDGE BEAM CONNECTION

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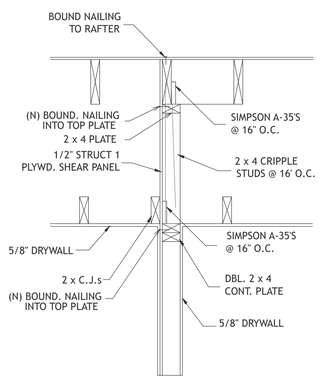

1. INTERIOR SHEAR WALL DETAIL

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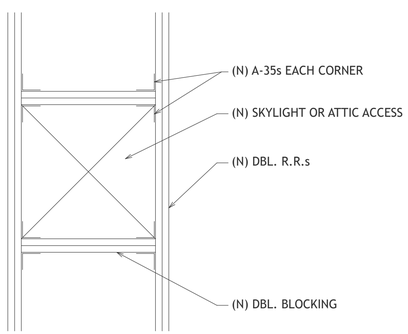

SKYLIGHT/ ATTIC ACCESS FRAMING DETAIL

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14

15

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT DESCRIPTION:
COMPLETE HOUSE REMODEL

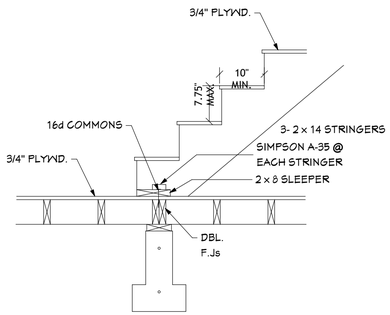
Tim Griffin
4636 Placidia Ave
North Hollywood, CA 91601

DRAWINGS PROVIDED BY:
LAWRENCE WOODCRAFT & ASSOCIATES
ASTRA WOODCRAFT, CA ARCHITECT'S LICENSE # C-23651
20512 VENTURA BLVD. SUITE 205
WOODLAND HILLS, CA 91364
818-701-7752
www.woodcrafarchitecture.com

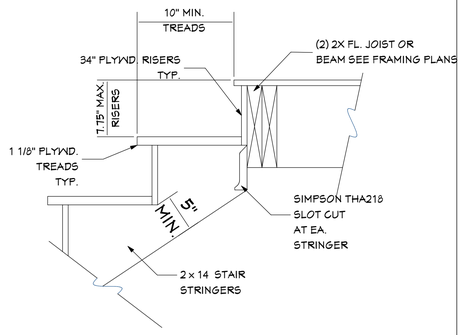
DATE:
11/30/2016

SCALE:

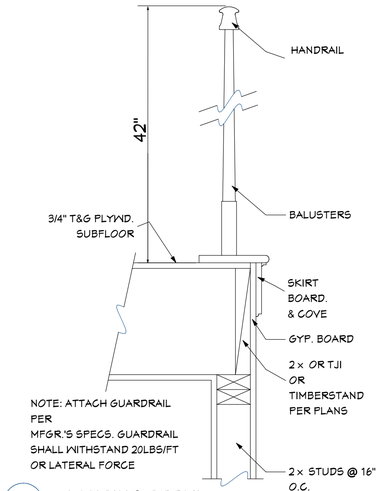
SHEET:
A 16



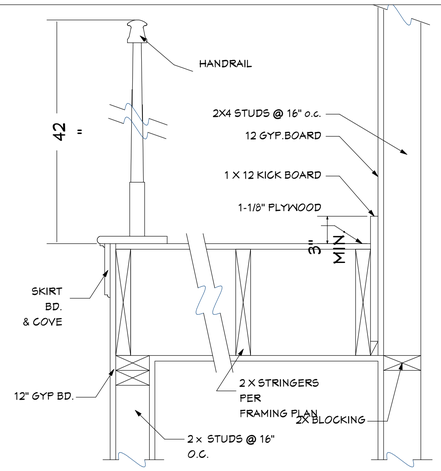
1 BOTTOM OF STAIR DETAIL



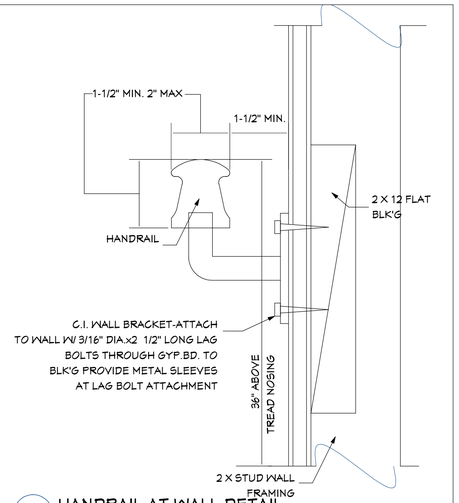
2 STAIR DETAIL



3 LANDING DETAIL



4 STAIR DETAIL



5 HANDRAIL AT WALL DETAIL

6 RAILING

8 STAIR DETAIL

STAIRWAY NOTES:
A. MAX. 7.75 RISE & MIN. 10" RUN.
B. MIN. 6'-8" VERTICAL HEADROOM AT TREAD NOSING.
C. MIN. 36" CLEAR WIDTH.
D. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING.
E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS.
F. HANDRAIL EXTENSIONS OF MIN. 12" BEYOND TOP AND BOTTOM RISERS WHEN SERVING MORE THAN ONE UNIT.
G. LESS THAN 4" CLEAR SPACING BETWEEN INTERMEDIATE RAILS.
H. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIRS SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 " GYPSUM BOARD (R302.7)
I. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7).

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www.woodcraftarchitecture.com

DATE:
11/30/2016

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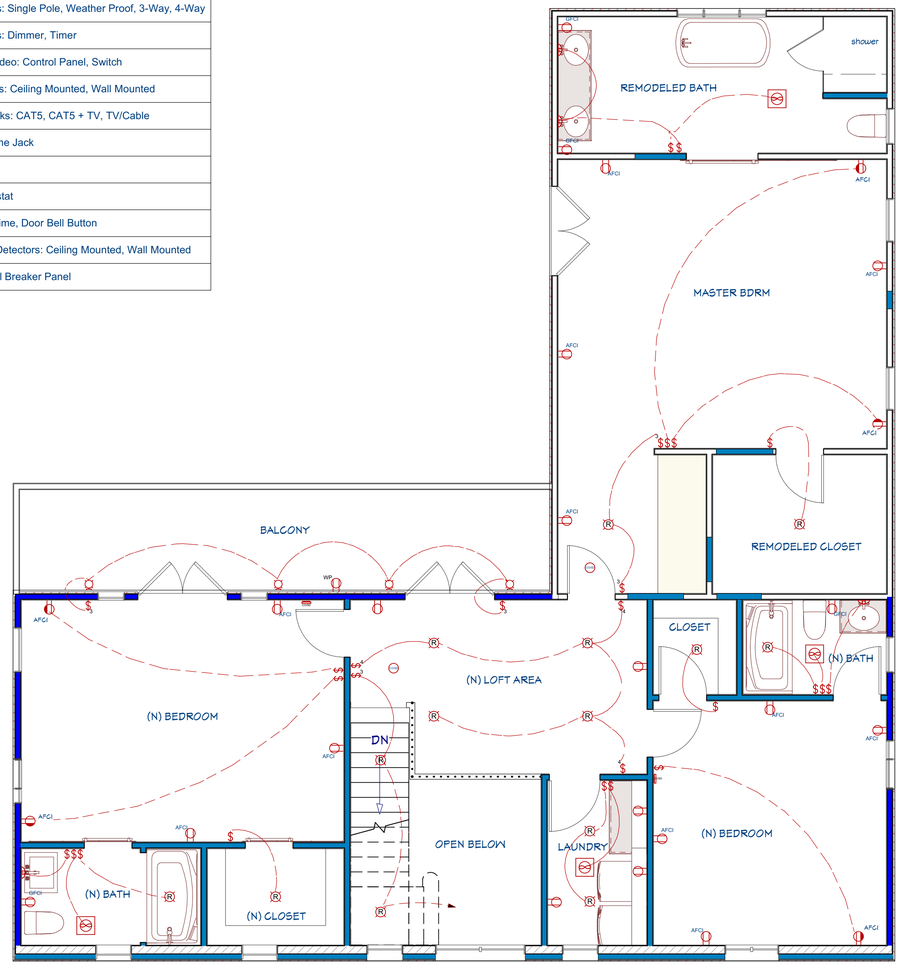
SHEET:
A 17

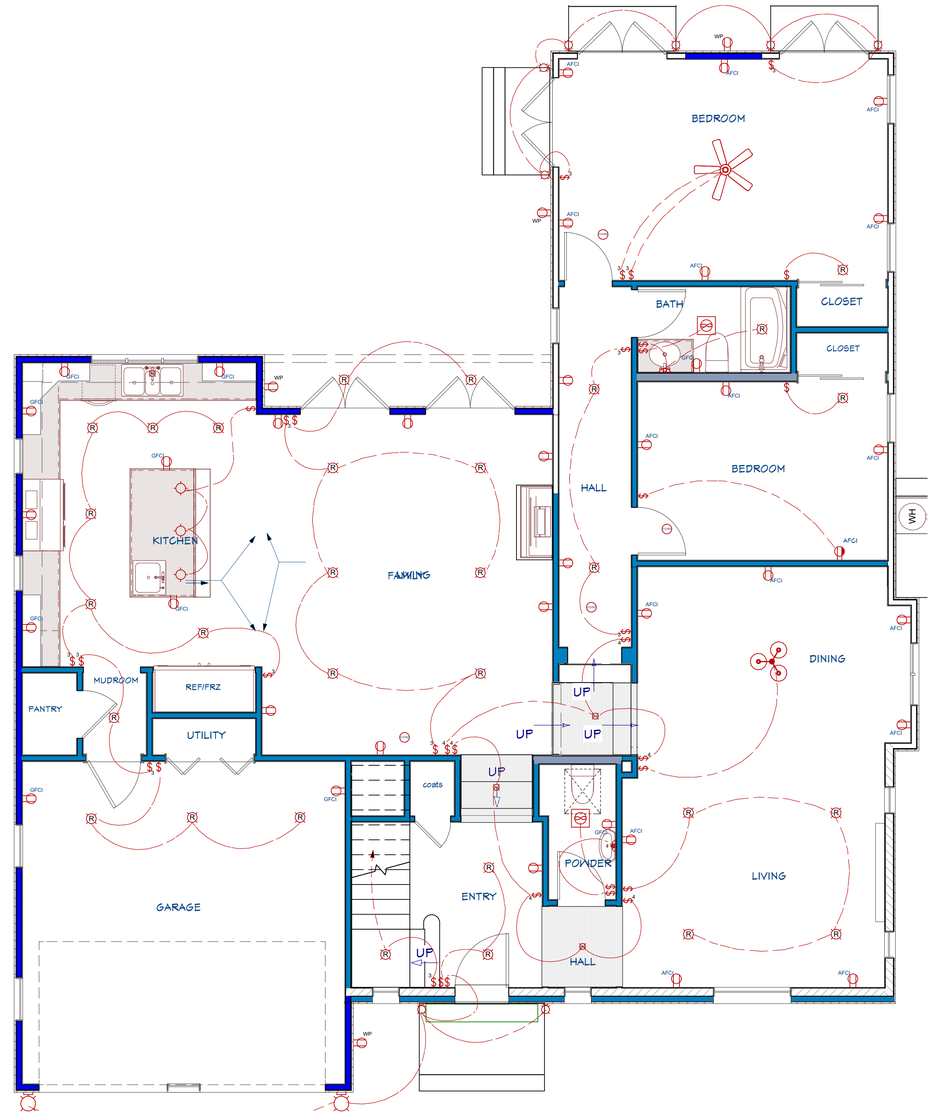
ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
WP GFCI	110V Receptacles: Duplex, Weather Proof, GFCI
WP 3 4	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
DM T	Switches: Dimmer, Timer
AV Control	Audio Video: Control Panel, Switch
SP SP	Speakers: Ceiling Mounted, Wall Mounted
CAT5 CAT5/TV TV	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
TEL	Telephone Jack
INT	Intercom
T	Thermostat
	Door Chime, Door Bell Button
SD CO	Smoke Detectors: Ceiling Mounted, Wall Mounted
EP	Electrical Breaker Panel



2ND FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"



1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"

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A 18