

MODERN BUNGALOW

4 BEDROOM, 3 1/2 BATH, NEW CONSTRUCTION RESIDENCE
DETACHED GARAGE WITH LIVING QUARTERS ABOVE



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
COVER PAGE

PROJECT DESCRIPTION:
MODERN BUNGALOW

DRAWINGS PROVIDED BY:
Chief Architect
6500 N. Mineral Dr. Coeur d'Alene, Idaho
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DATE:

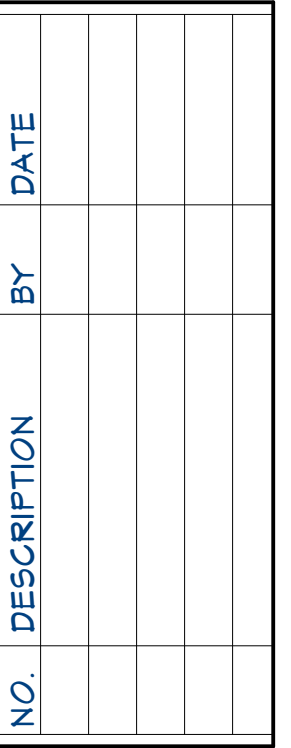
Jan. 2013

SCALE:

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SHEET:

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SHEET TITLE:

PROJECT DESCRIPTION:

DRAWINGS PROVIDED BY:

DATE:

SCALE:

SHEET:

A-2



18" BOXED EAVE OVERHANG TYP.
GUTTER EACH EAVE
10" FRIEZE BUILD UP
WEATHERED CEDAR SHINGLE SIDING

3 1/2" CORNER TRIM MAIN LEVEL
FIBER CEMENT SIDING 6" REVEAL

8" WATER TABLE TRIM

E1

1/4" : 1'



E2

1/4" : 1'



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
**MODERN
BUNGALOW**

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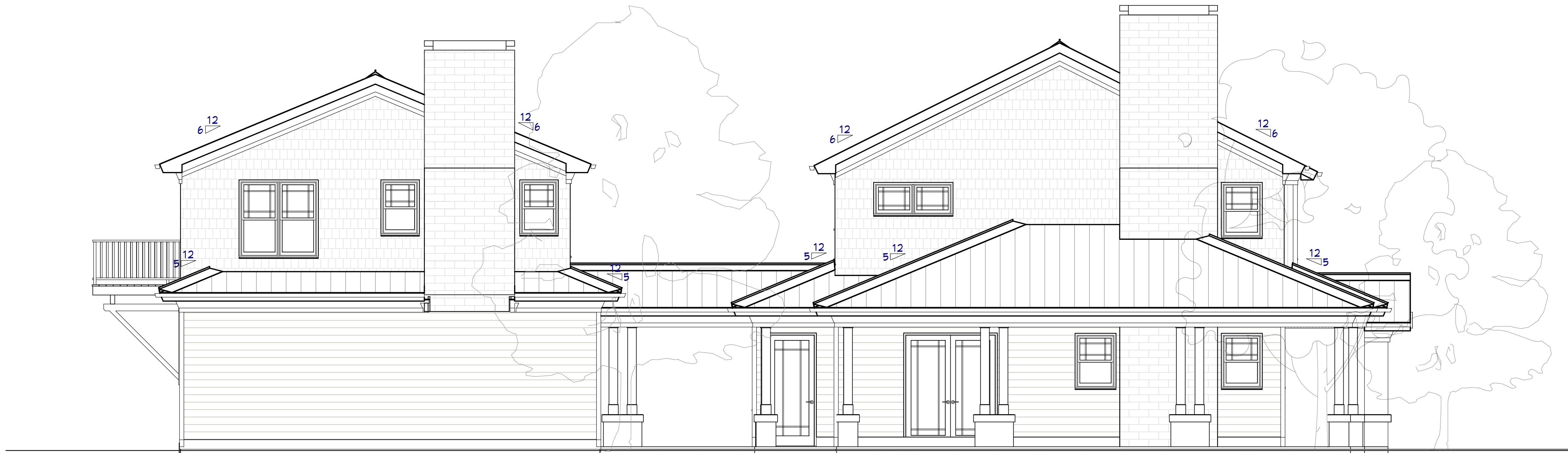
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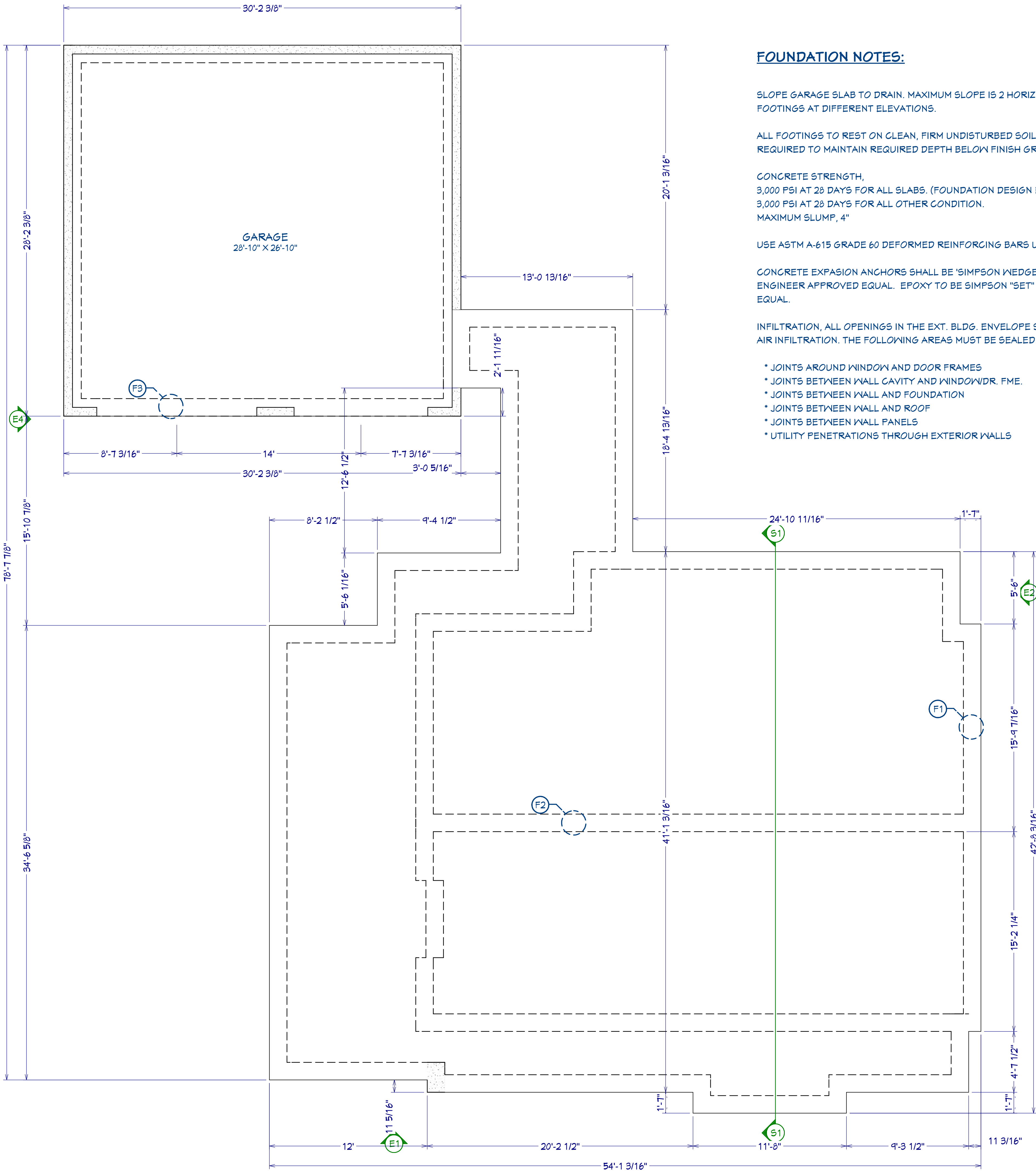
SHEET:
A-3



E3 REAR ELEVATION
1/4" : 1'



E4 LEFT ELEVATION
1/4" : 1'



FOUNDATION NOTES:

SLOPE GARAGE SLAB TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ., 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS ARE REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

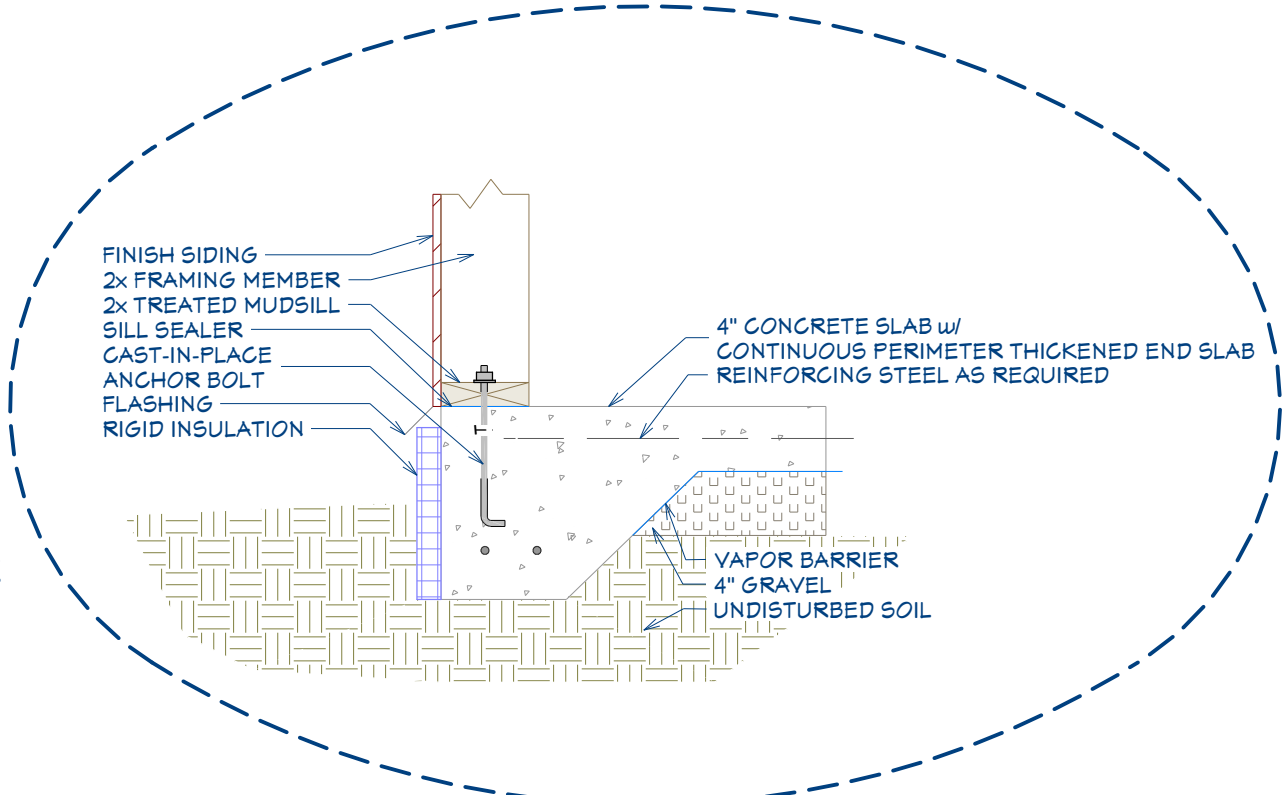
CONCRETE STRENGTH,
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

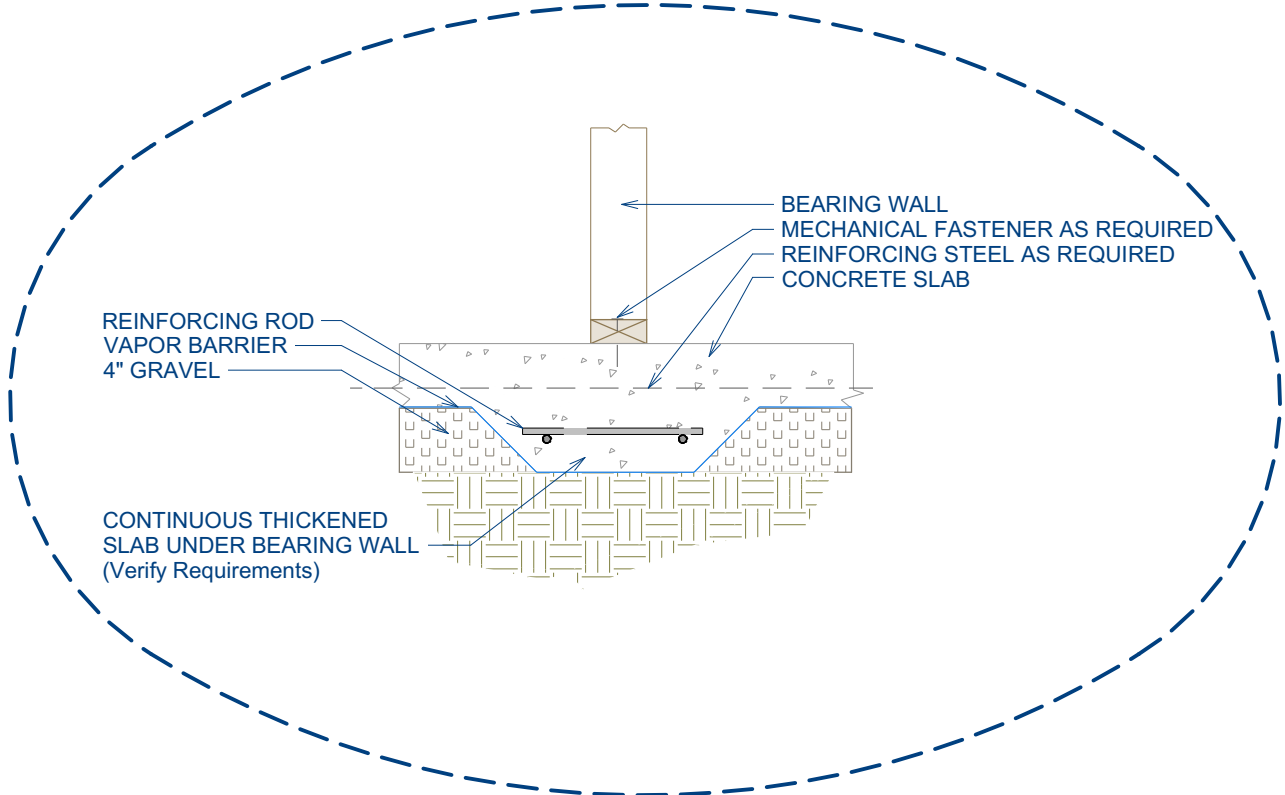
INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- JOINTS AROUND WINDOW AND DOOR FRAMES
- JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- JOINTS BETWEEN WALL AND FOUNDATION
- JOINTS BETWEEN WALL AND ROOF
- JOINTS BETWEEN WALL PANELS
- UTILITY PENETRATIONS THROUGH EXTERIOR WALLS



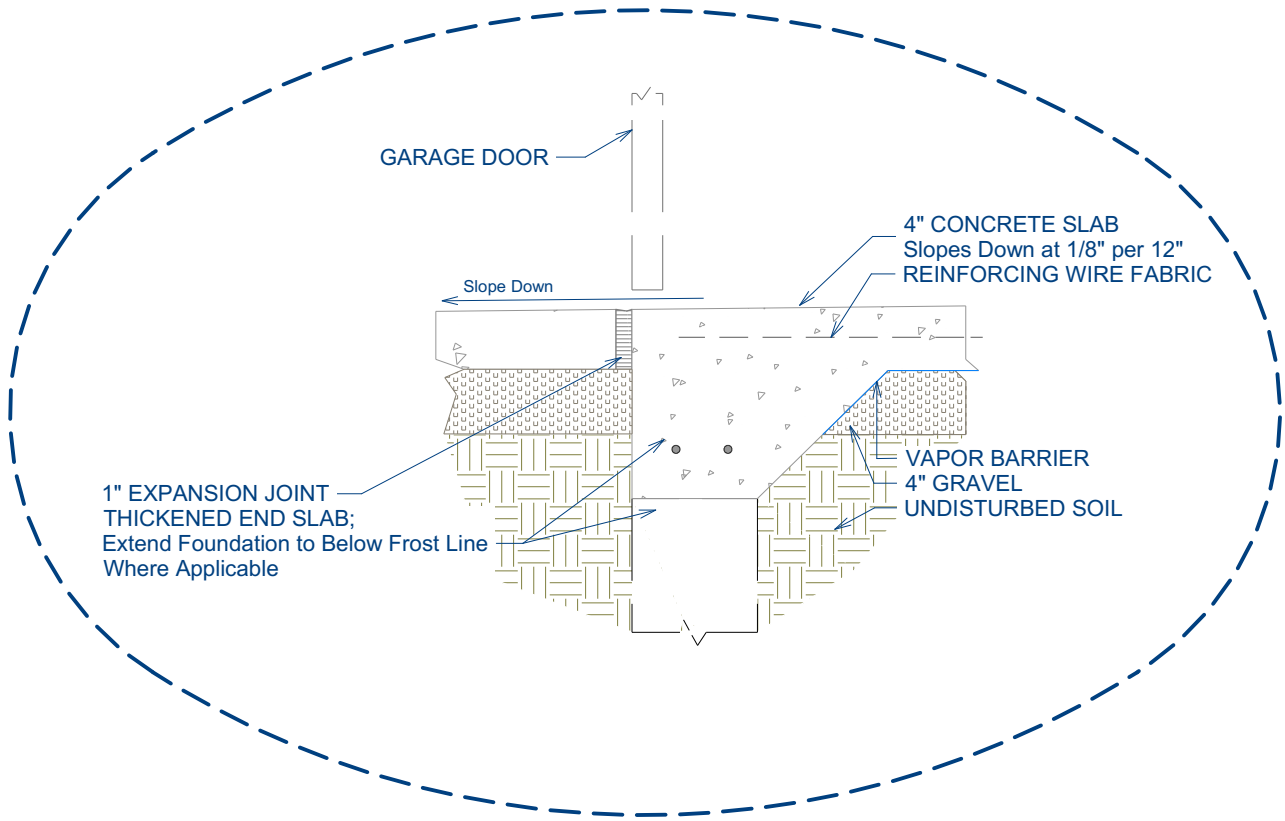
F1 THICKENED END SLAB

1" : 1"



F2 THICKENED SLAB FOOTING

1" : 1"



F3 TURNED DOWN SLAB AT GARAGE OPENING

1" : 1"



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SHEET TITLE:
FOUNDATION PLAN

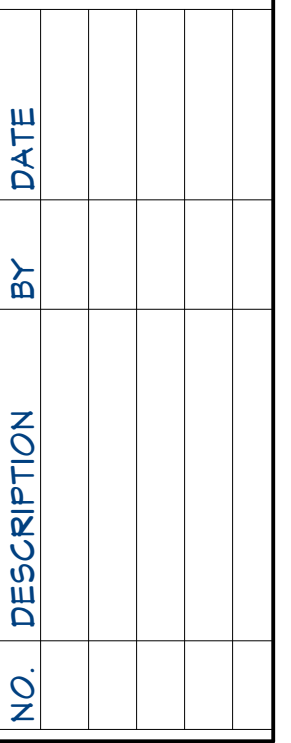
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SCALE:
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SHEET:
A-4



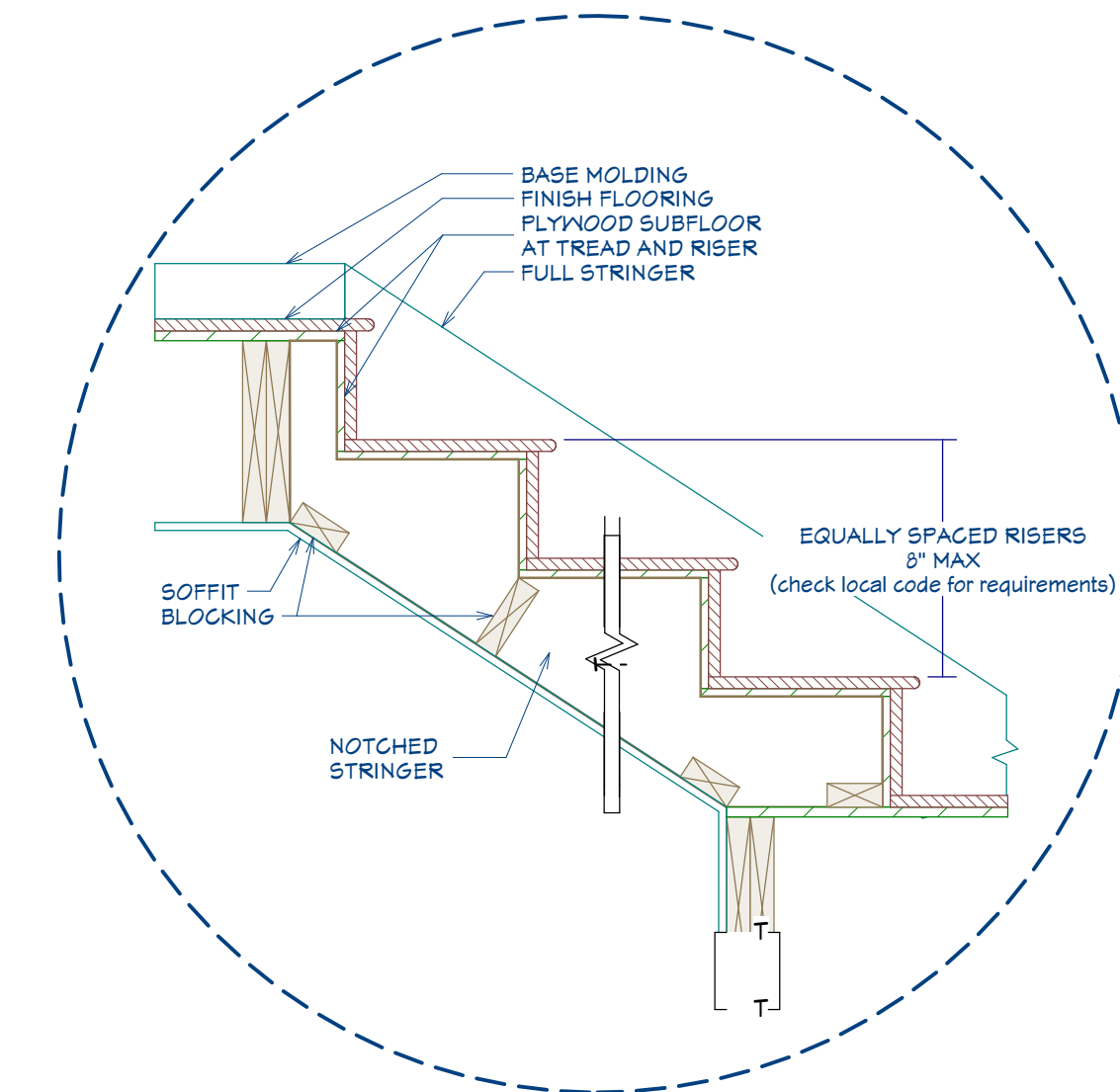
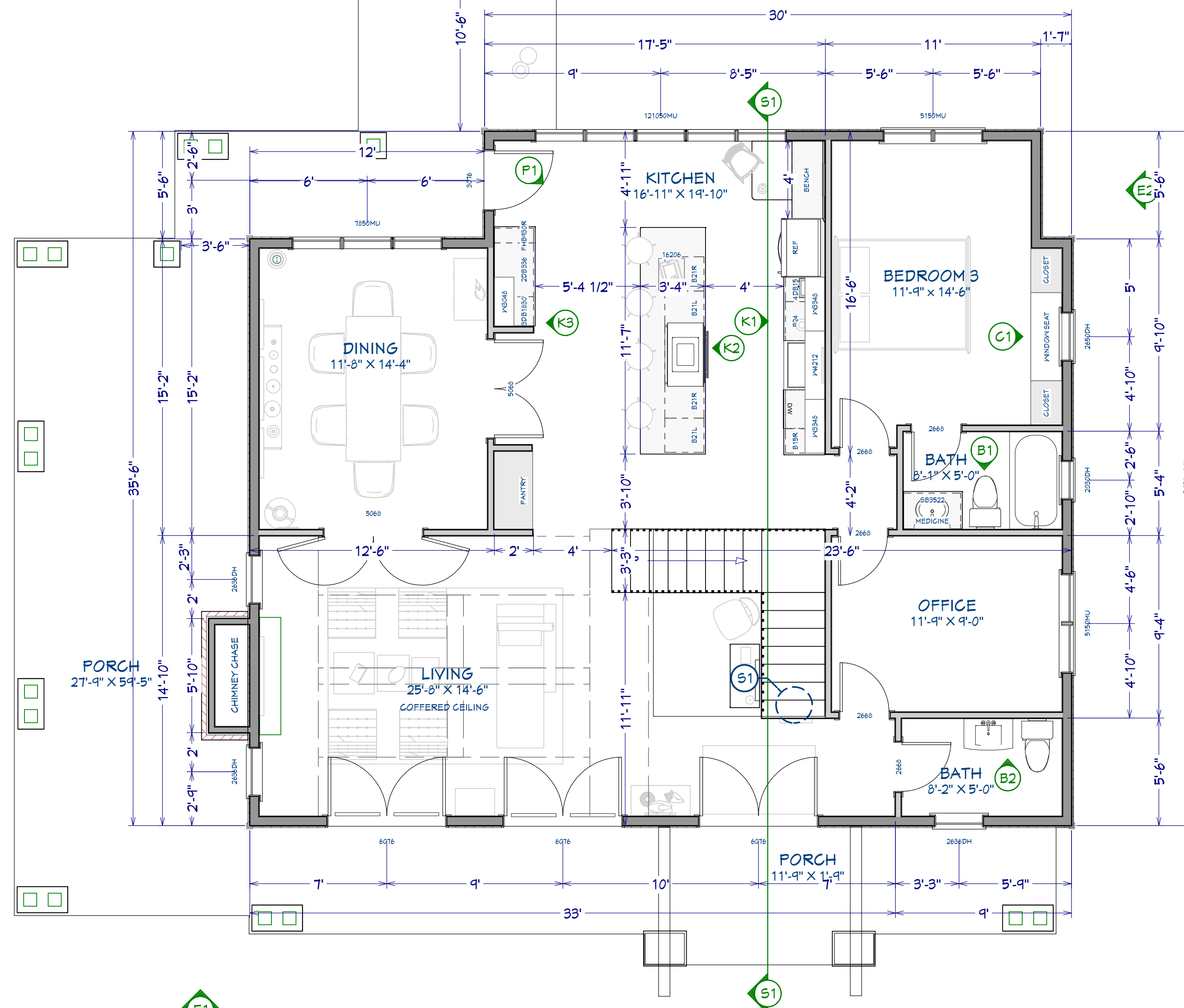
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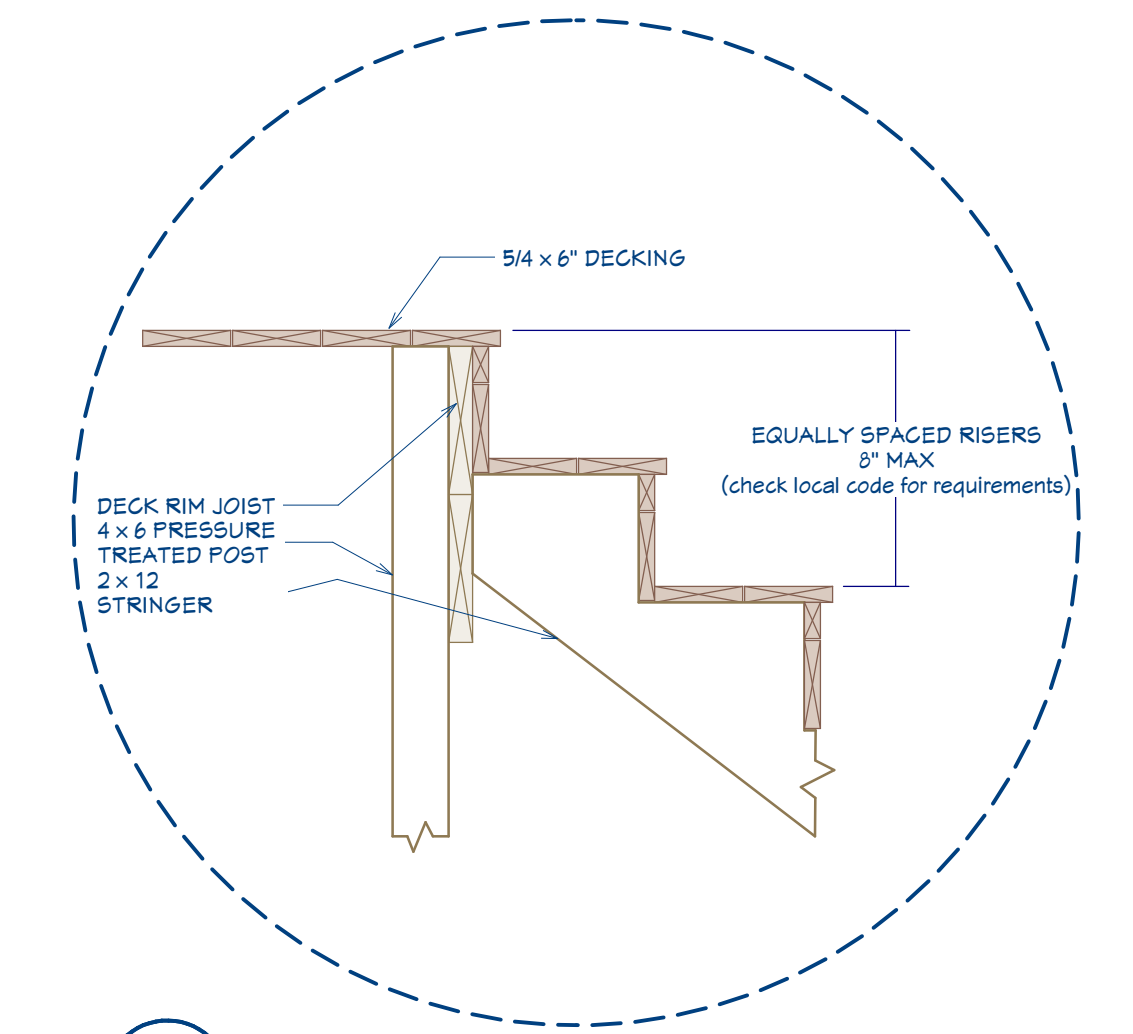
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SHEET:
A-5



S1 INTERIOR STAIR
1" = 1'



(S2) EXTERIOR WOOD STAIR



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SECOND FLOOR PLAN

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DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

EXTERIOR FINISH NOTES:

1. EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 5/8 CDX PLYWOOD/OSB. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.
2. ROOFING TO BE 50 YEAR ASPHALT OVER 30# FELT, 5/8 CDX PLYWOOD/OSB.
3. DECKING TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.
4. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.
5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.
6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.
7. BASALT RETAINING WALLS TO MATCH EXISTING RETAINING WALL.

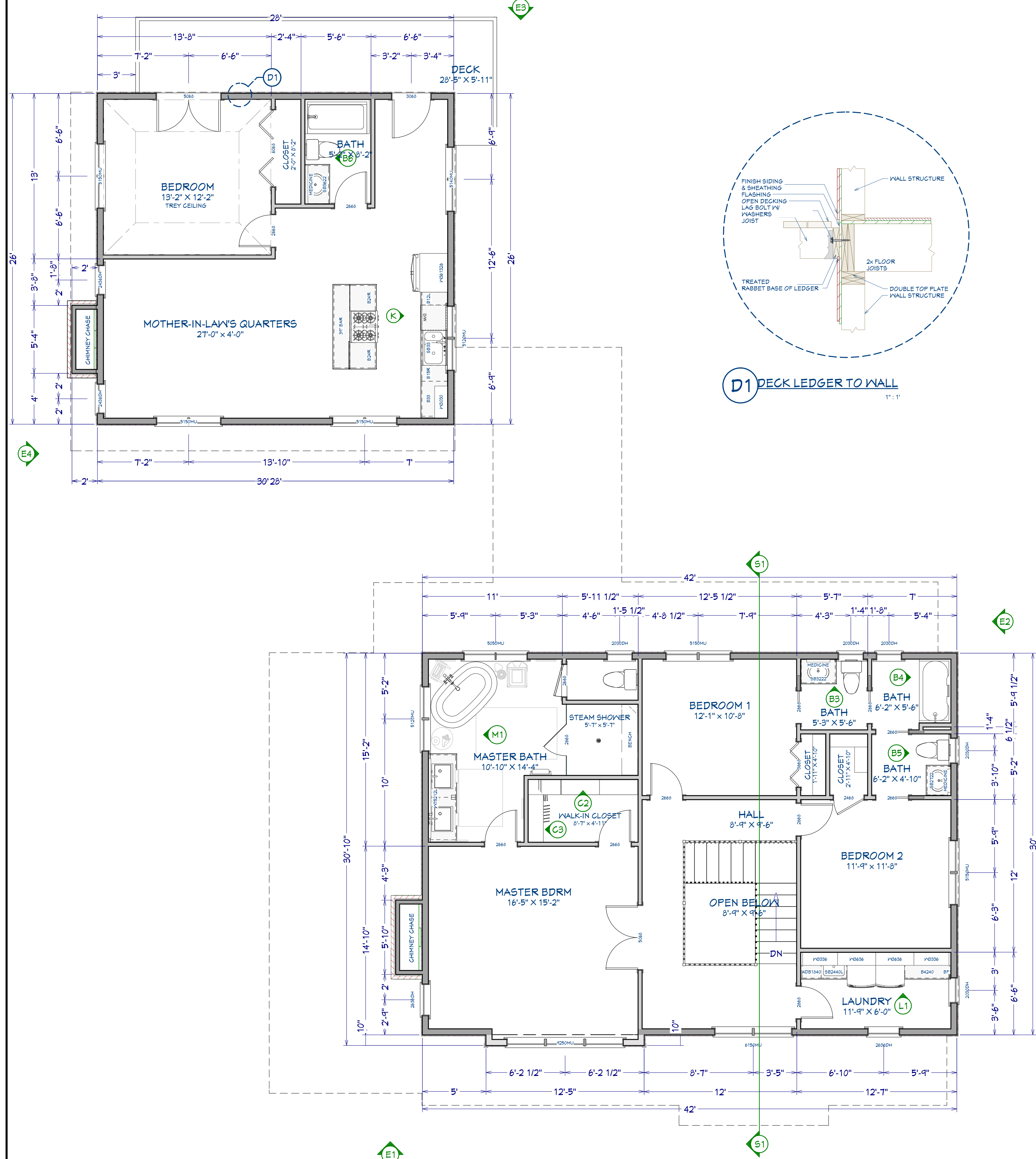
FINISH NOTES:

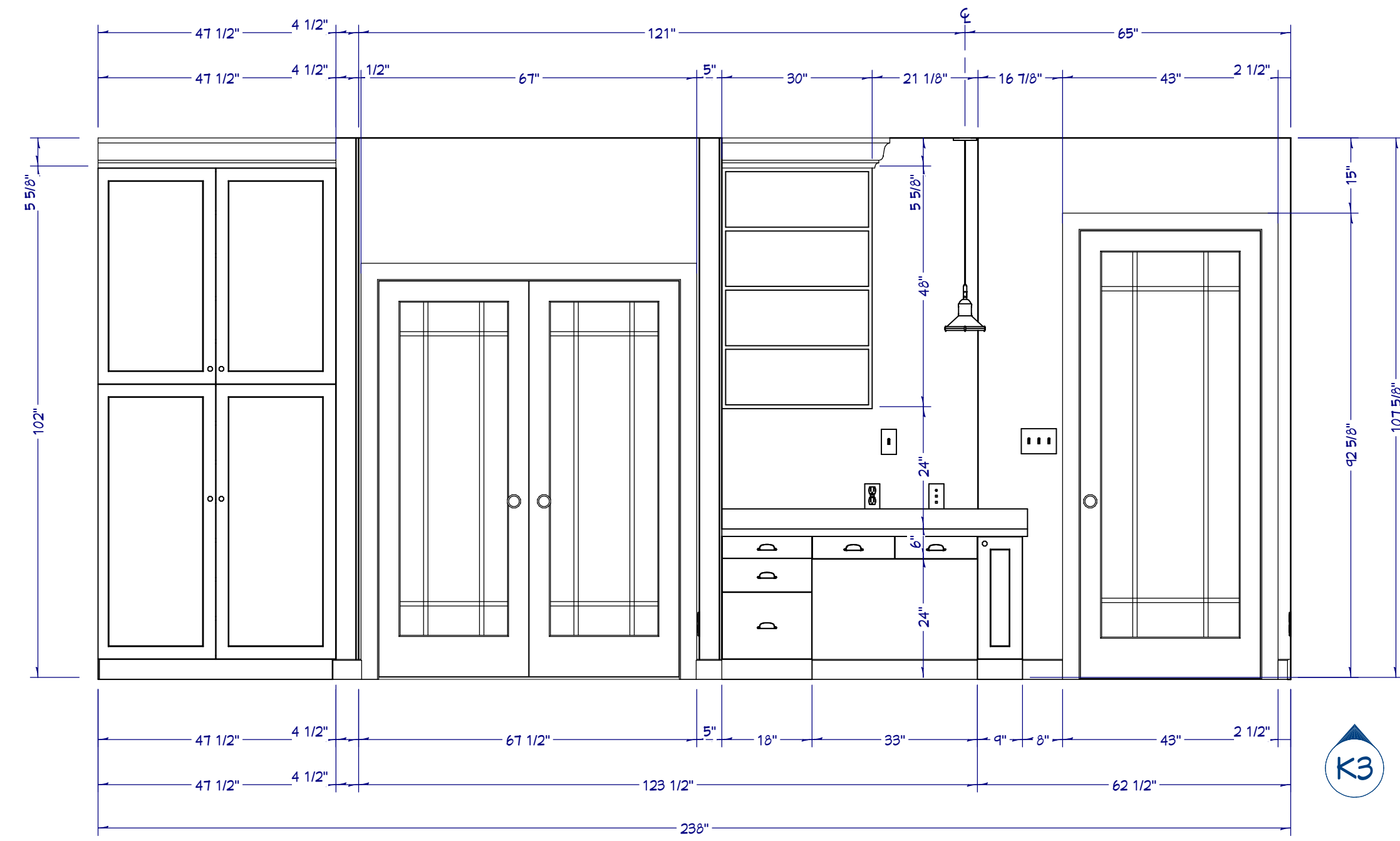
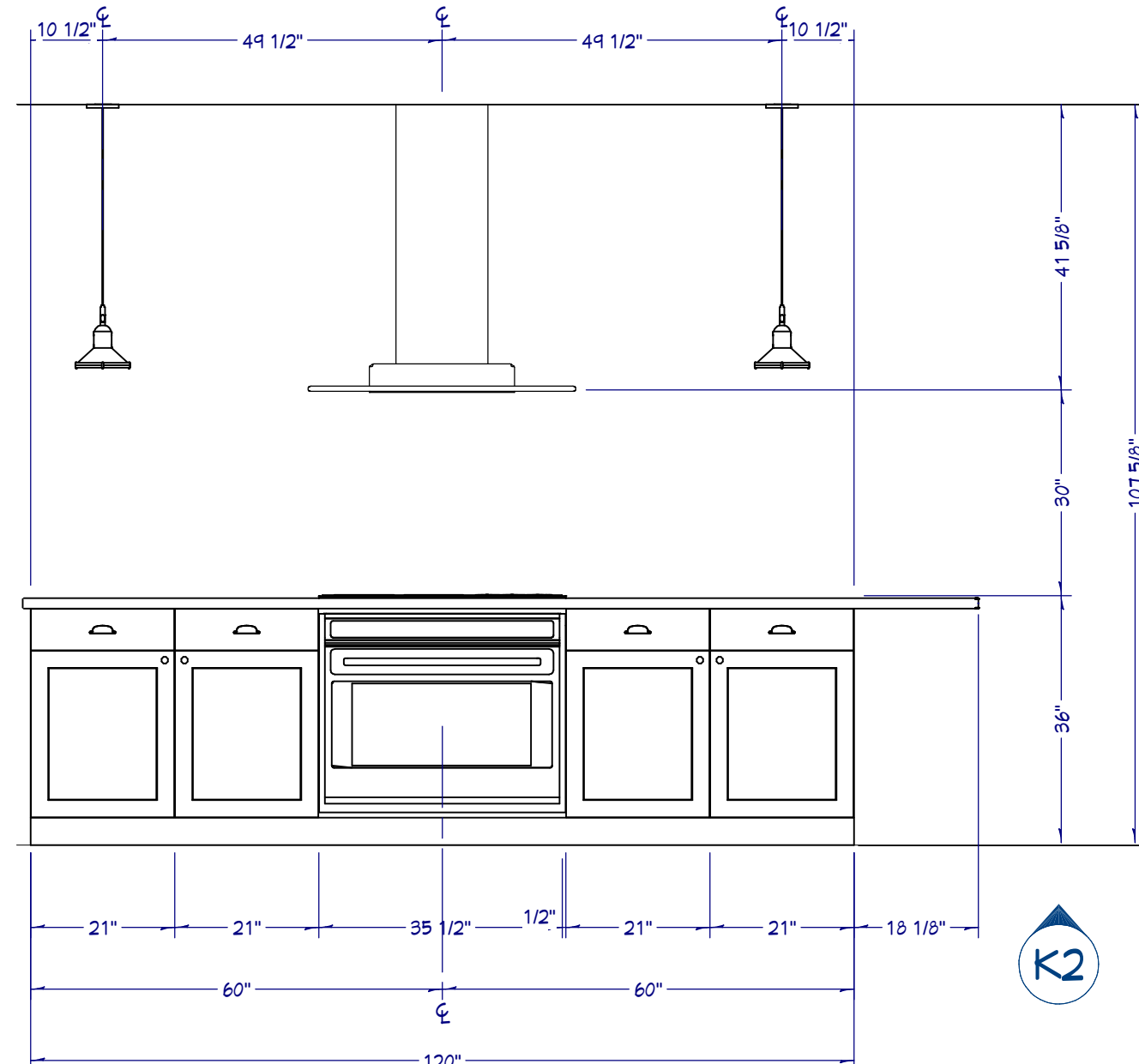
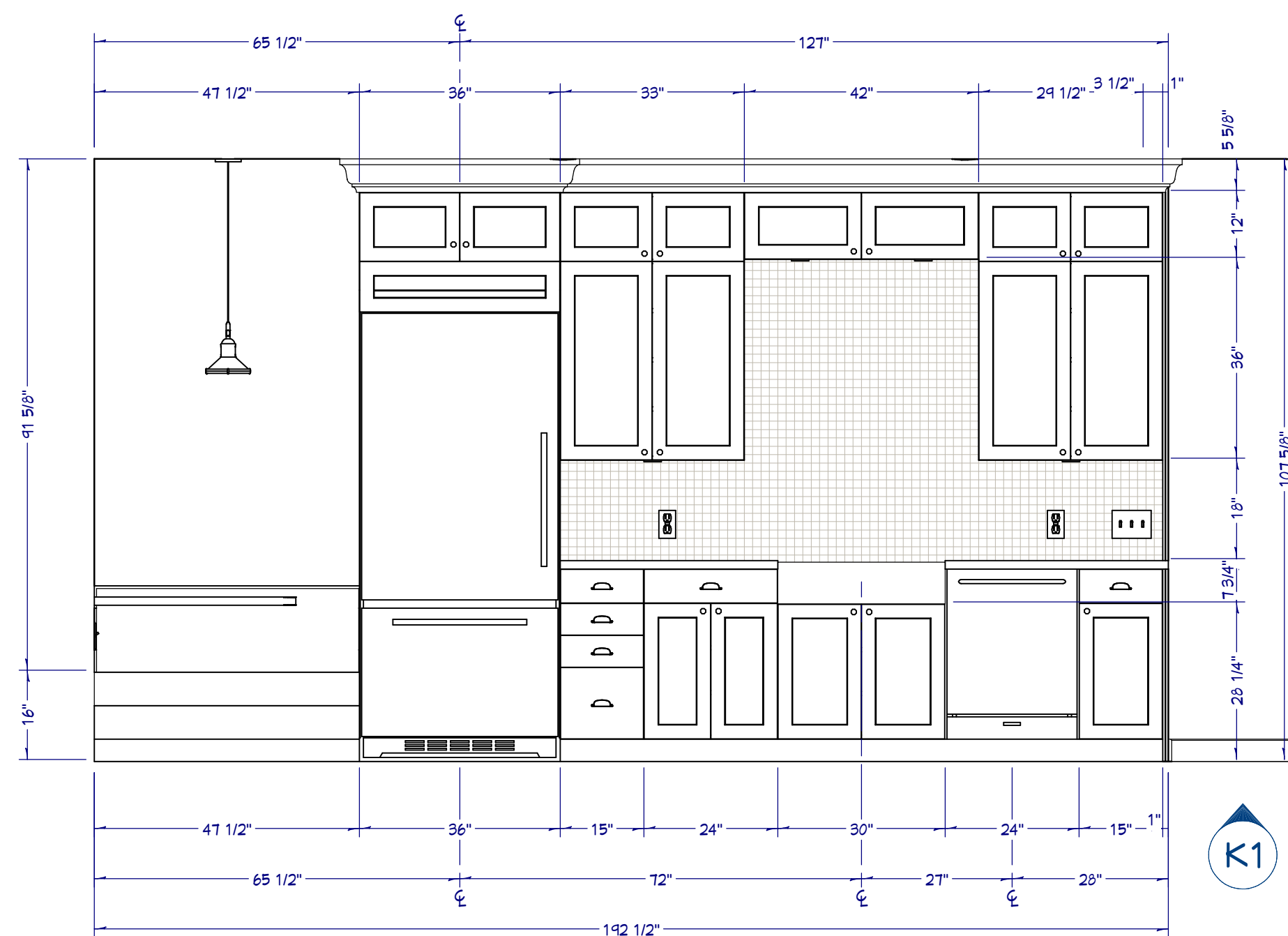
RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

BASE BOARDS SHALL BE 6" IN ALL ROOMS, UNO.

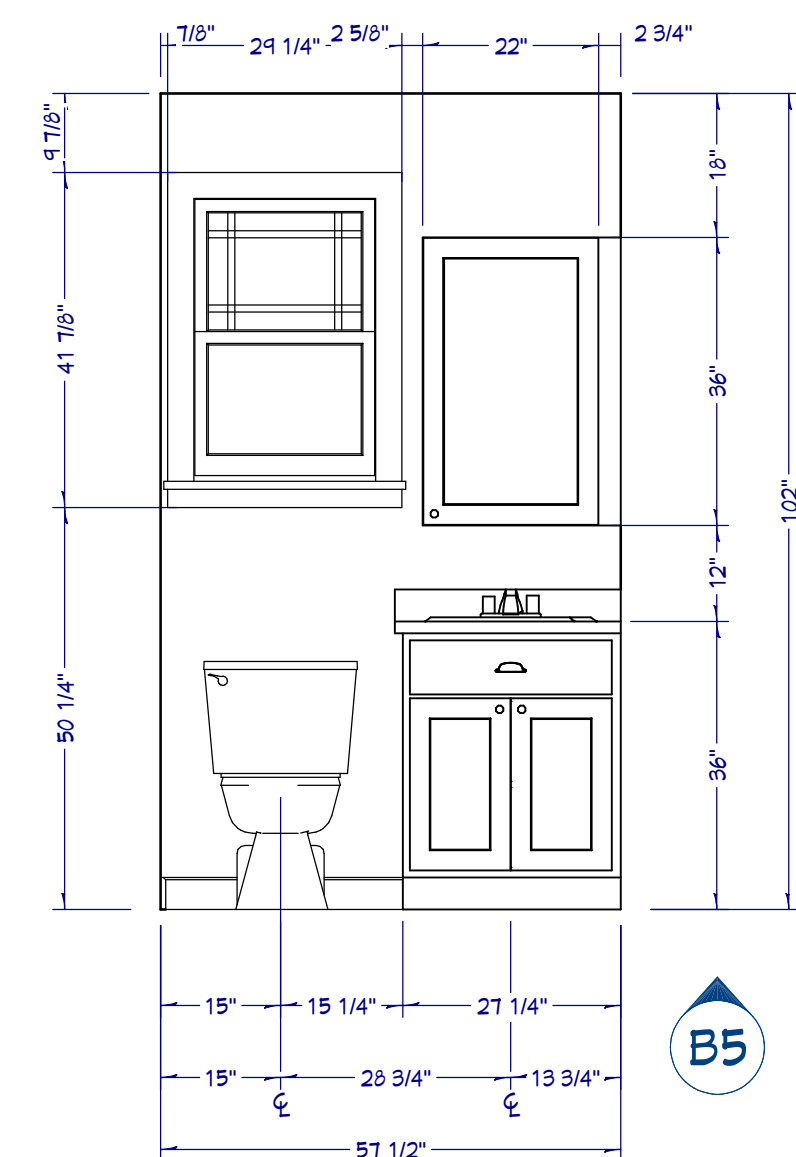
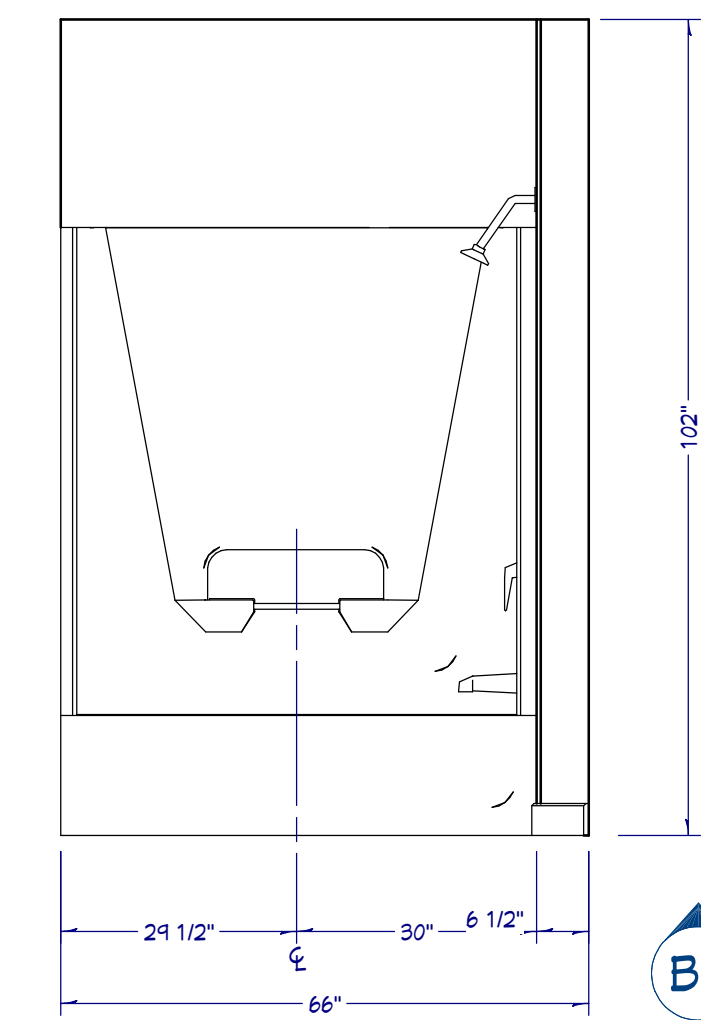
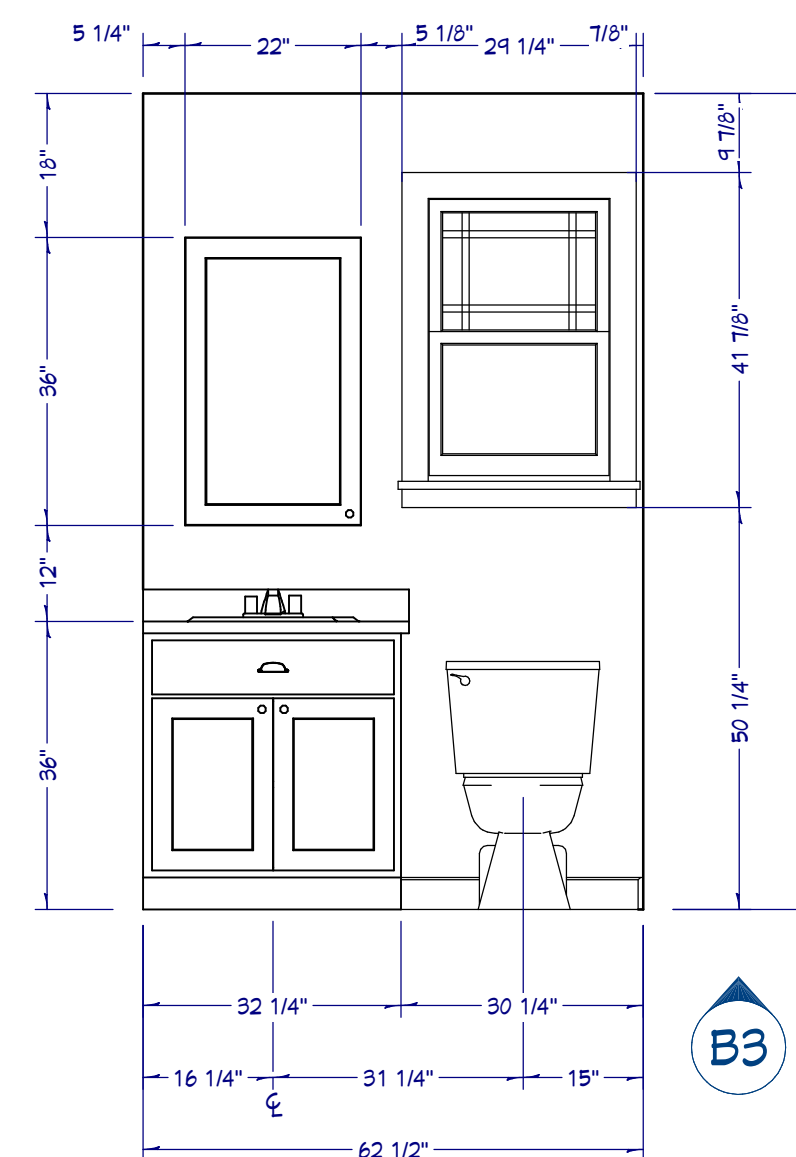
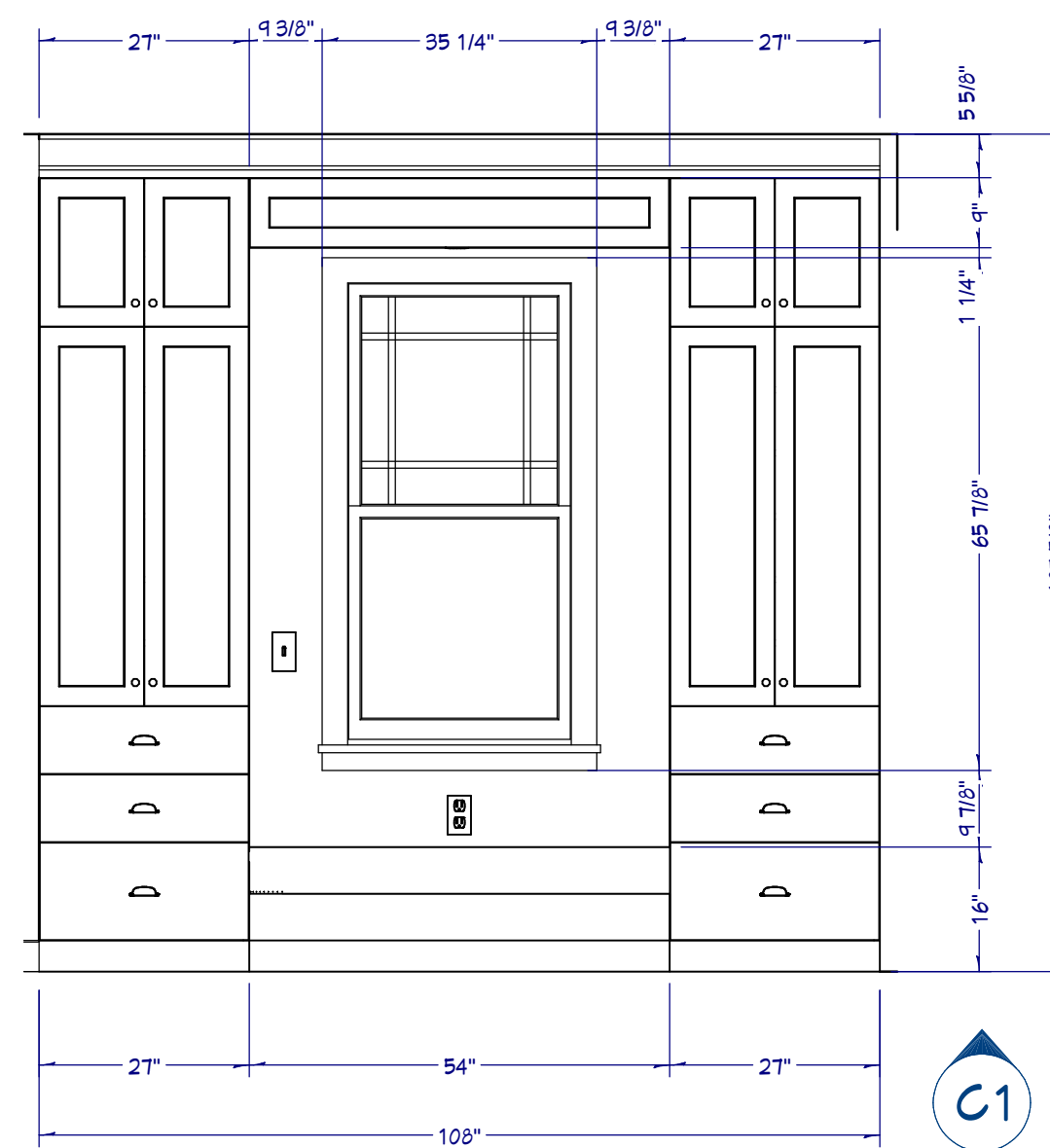
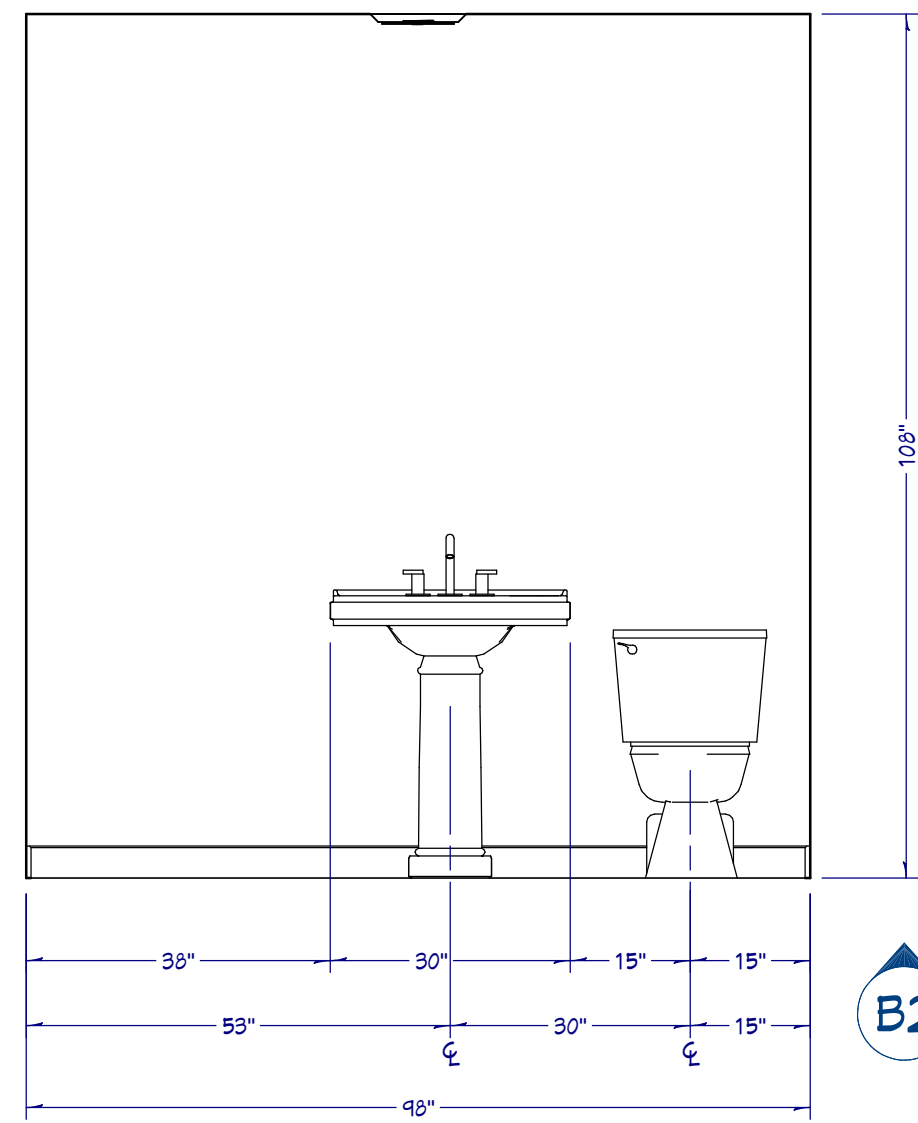
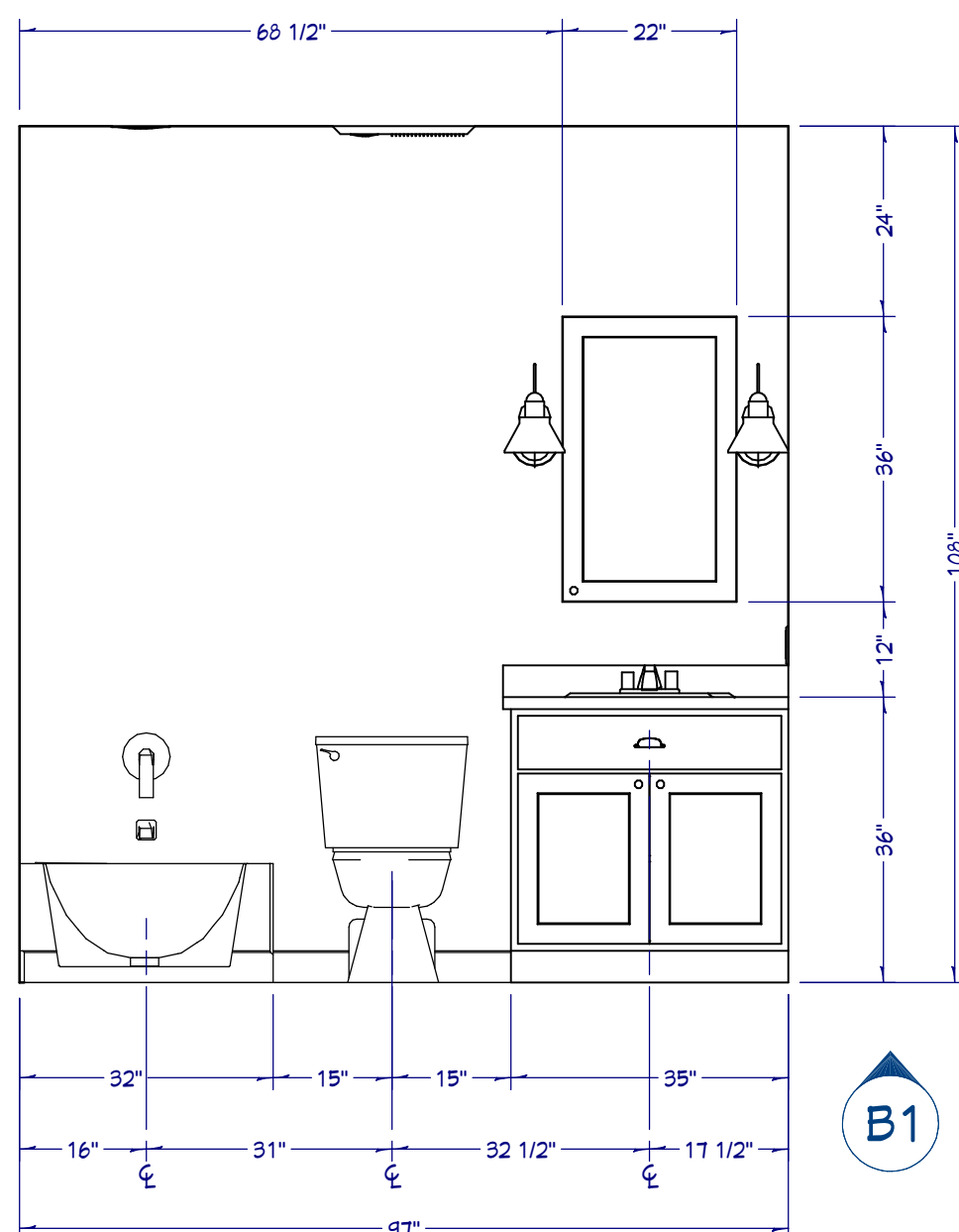
FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.

ROOM FINISH SCHEDULE			
ROOM NAME	FLOOR	INT. AREA (SQ FT)	Ceiling Height
BEDROOM 1	2	129	103 1/8"
BEDROOM 2	2	137	103 1/8"
BEDROOM 3	1	166	109 1/8"
BATH	1	40	109 1/8"
BATH	1	40	109 1/8"
BATH	2	24	103 1/8"
BATH	2	30	103 1/8"
BATH	2	33	103 1/8"
BATH	2	42	91 1/8"
BEDROOM	2	160	91 1/8"
CLOSET	0	554	N/A
CLOSET	1	40	121 3/4"
CLOSET	2	14	103 1/8"
CLOSET	2	16	91 1/8"
CLOSET	2	18	103 1/8"
CLOSET	2	9	103 1/8"
DECK	2	181	N/A
GARAGE	0	776	N/A
DINING	1	167	109 1/8"
DINING	0	685	N/A
GARAGE	1	783	112 5/8", 124 5/8"
HALL	2	135	103 1/8"
KITCHEN	1	348	109 1/8"
LAUNDRY	2	70	103 1/8"
LIVING	1	385	109 1/8", 121 3/4"
MOTHER-IN-LAW'S QUARTERS	2	439	91 1/8"
MASTER BATH	2	136	103 1/8"
MASTER BDRM	2	244	103 1/8"
OFFICE	1	105	109 1/8"
OPEN BELOW	2	82	224 1/8"
STEAM SHOWER	2	31	103 1/8"
STORAGE	2	0	103 1/8"
WALK-IN CLOSET	2	42	103 1/8"
TOTALS:	2	6066	





KITCHEN

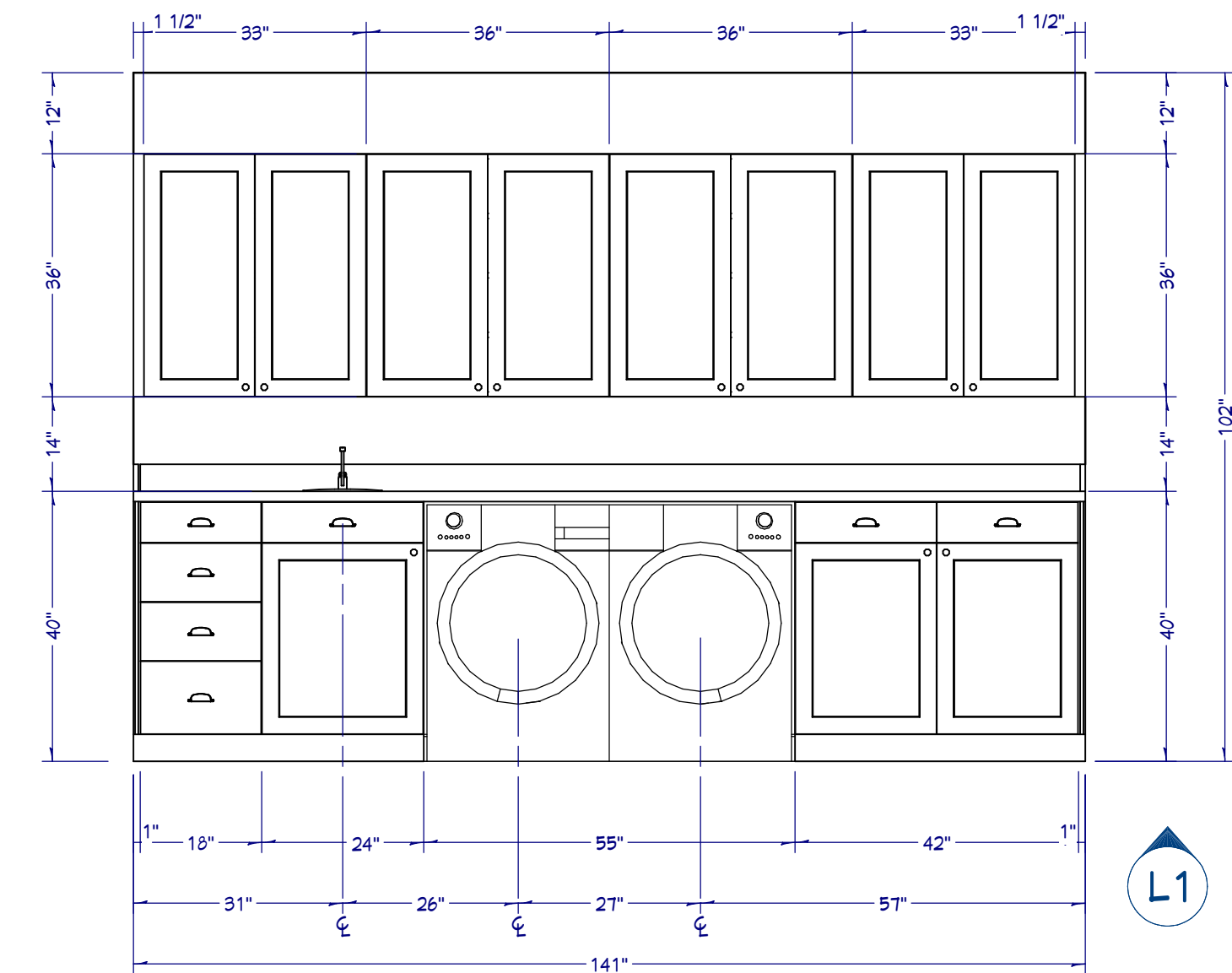
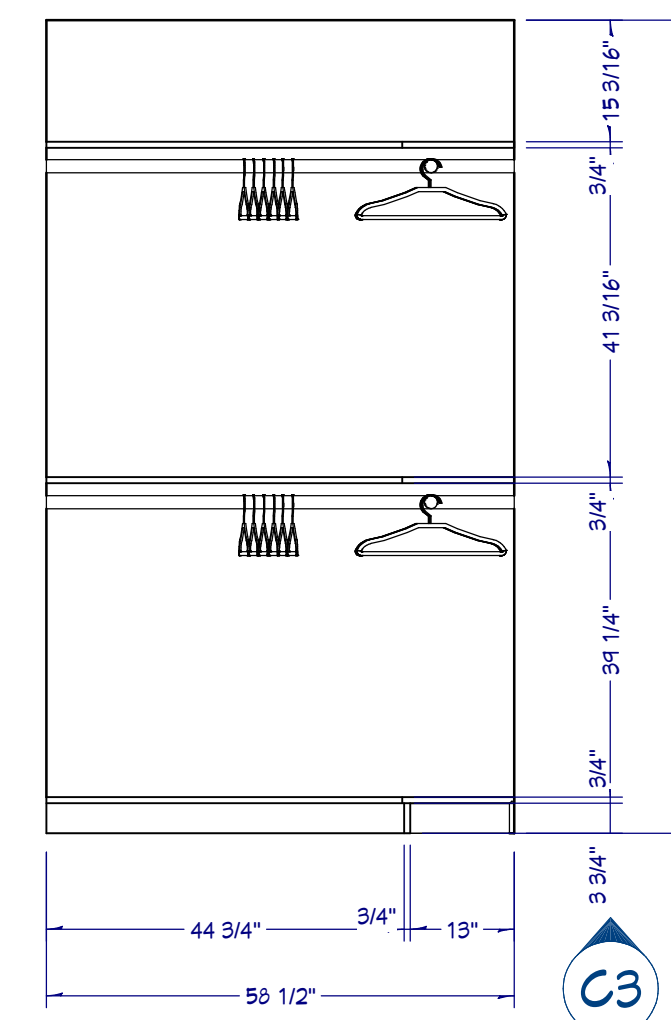
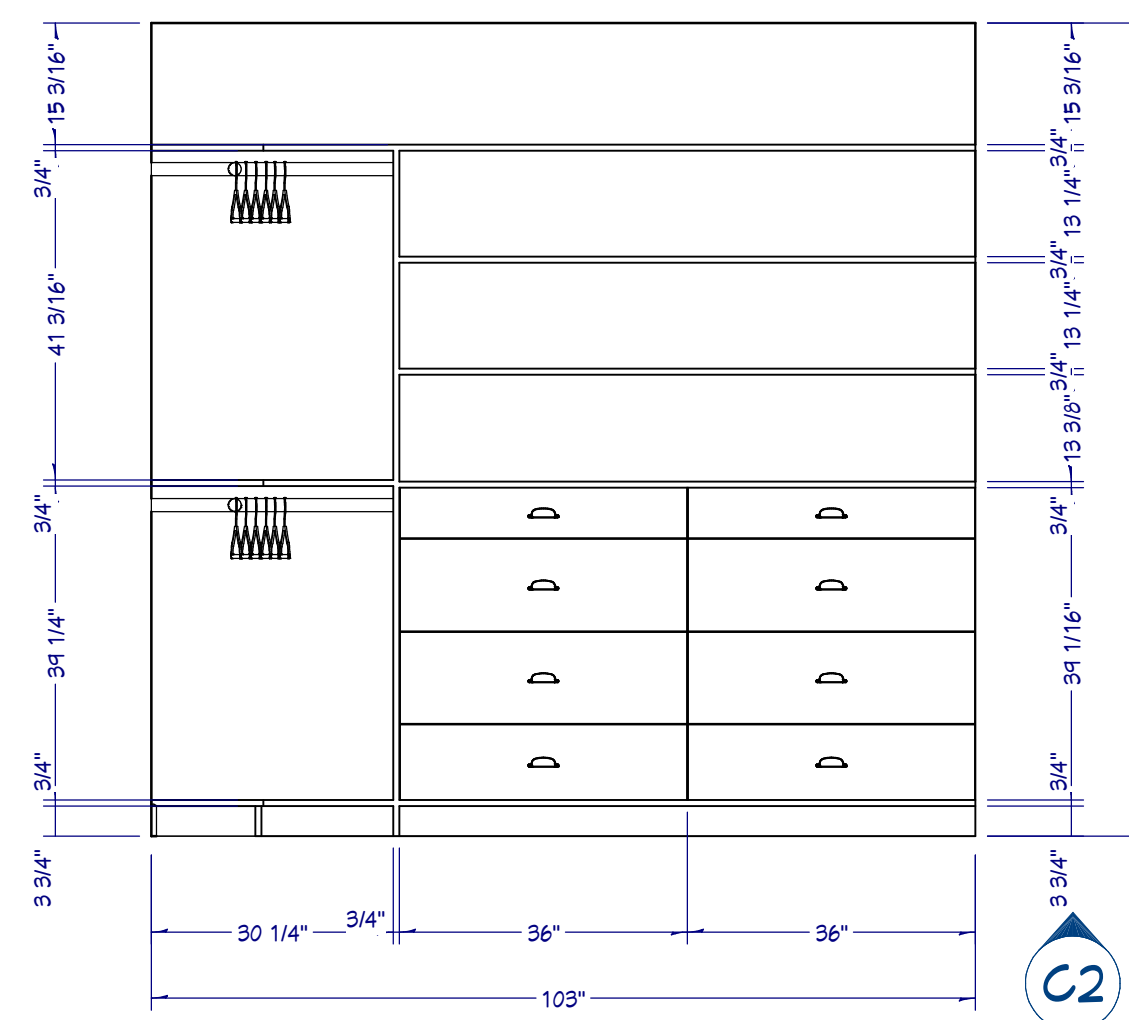
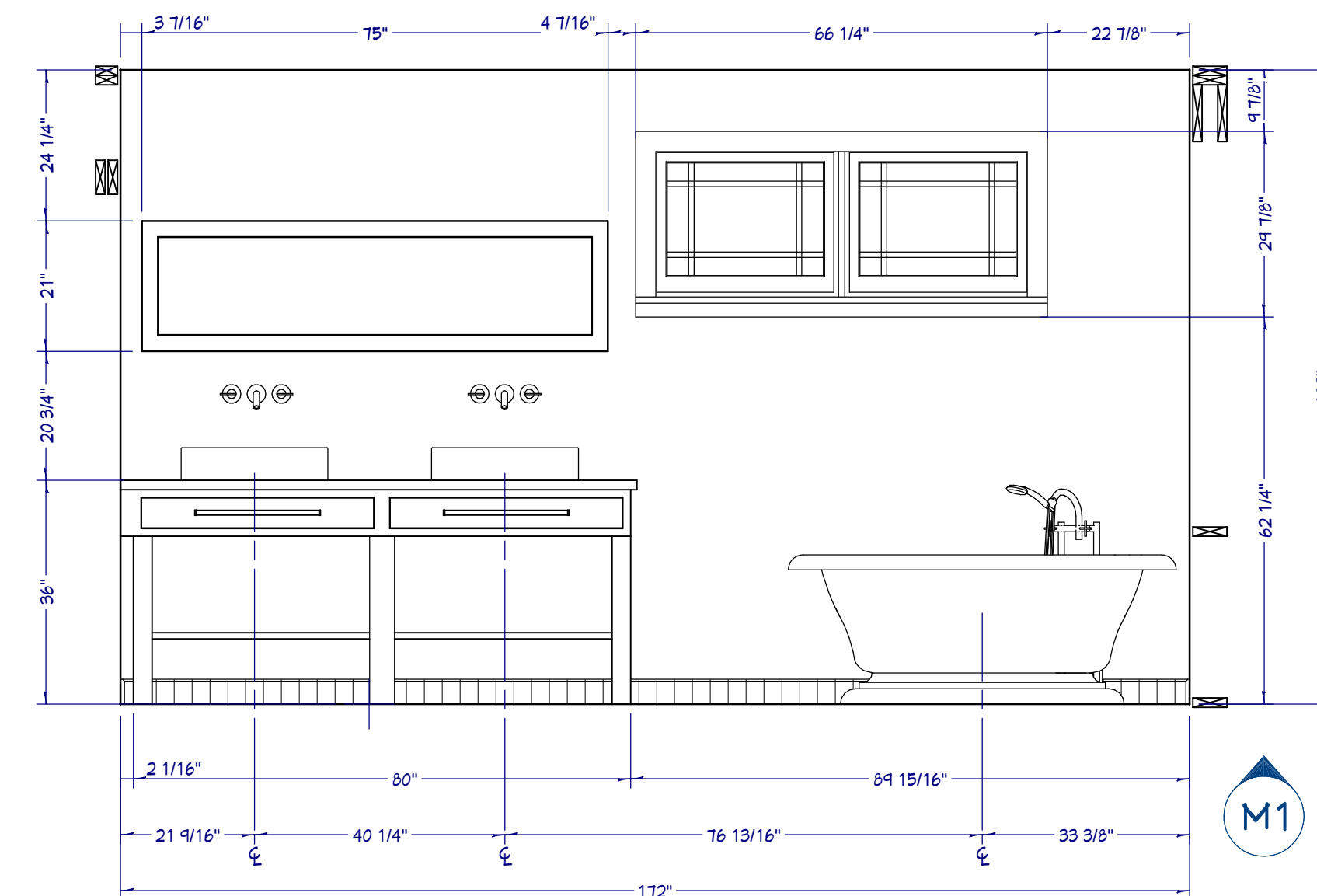


GUEST BATHROOM

POWDER ROOM

WINDOW SEAT

JACK AND JILL BATHROOM



MASTER BATHROOM

WALK-IN CLOSET

LAUNDRY ROOM



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WALL ELEVATIONS

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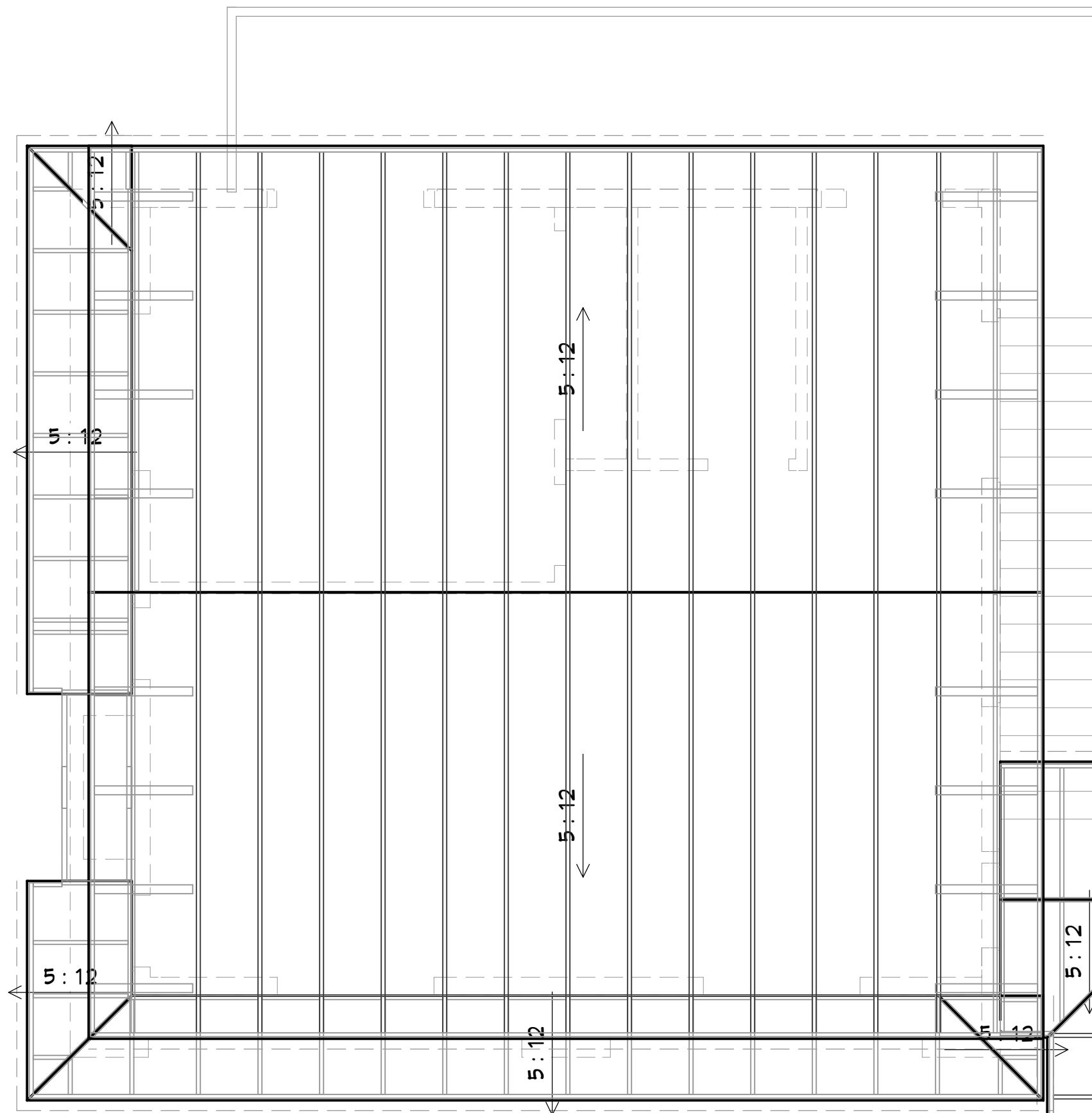
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SCALE:

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SHEET:

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FLOORS AND ROOFS

ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BUILDING CODES. THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BUILDING CODES. THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BUILDING CODES.

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 18".

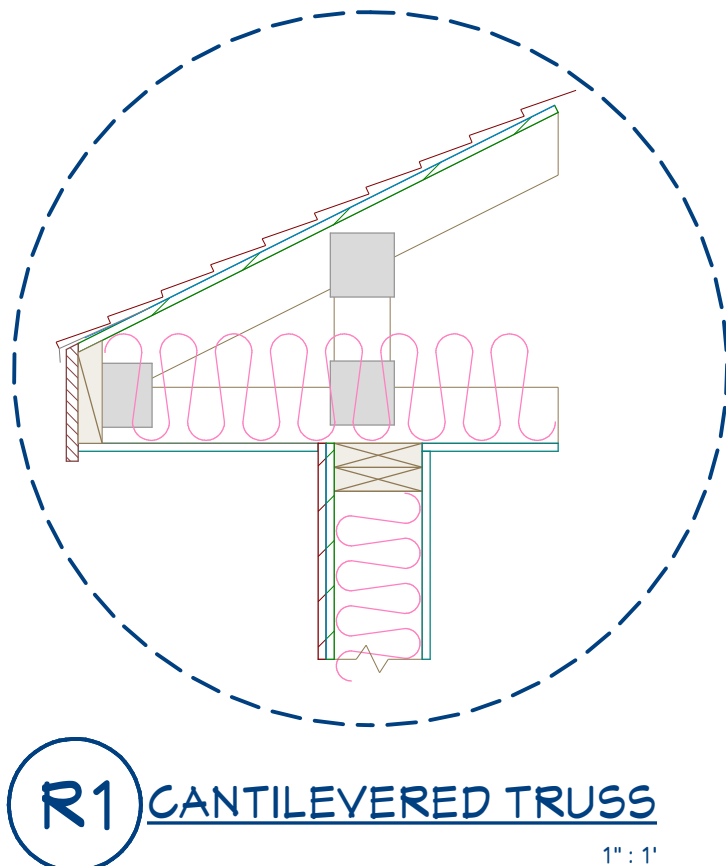
INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

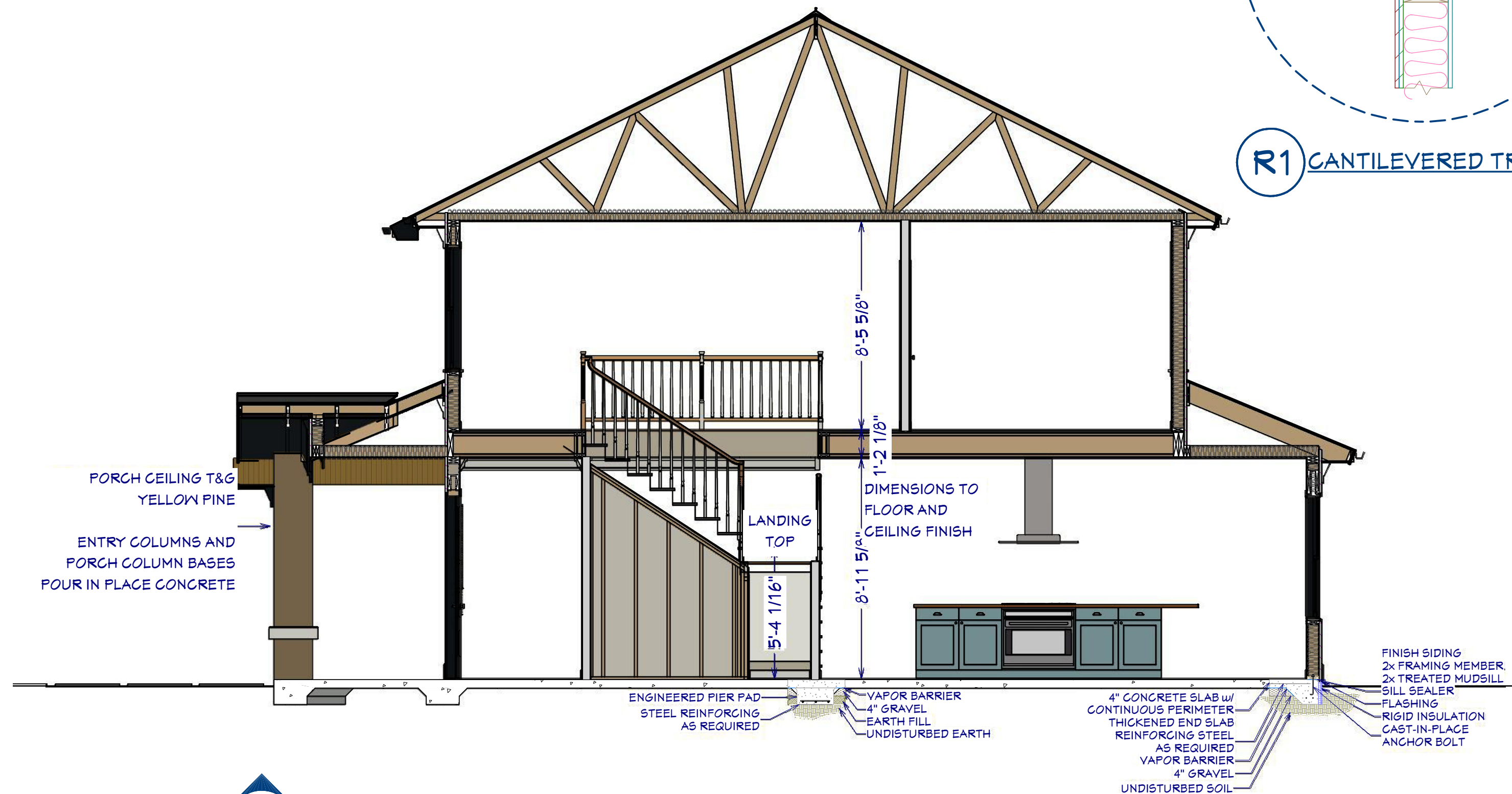
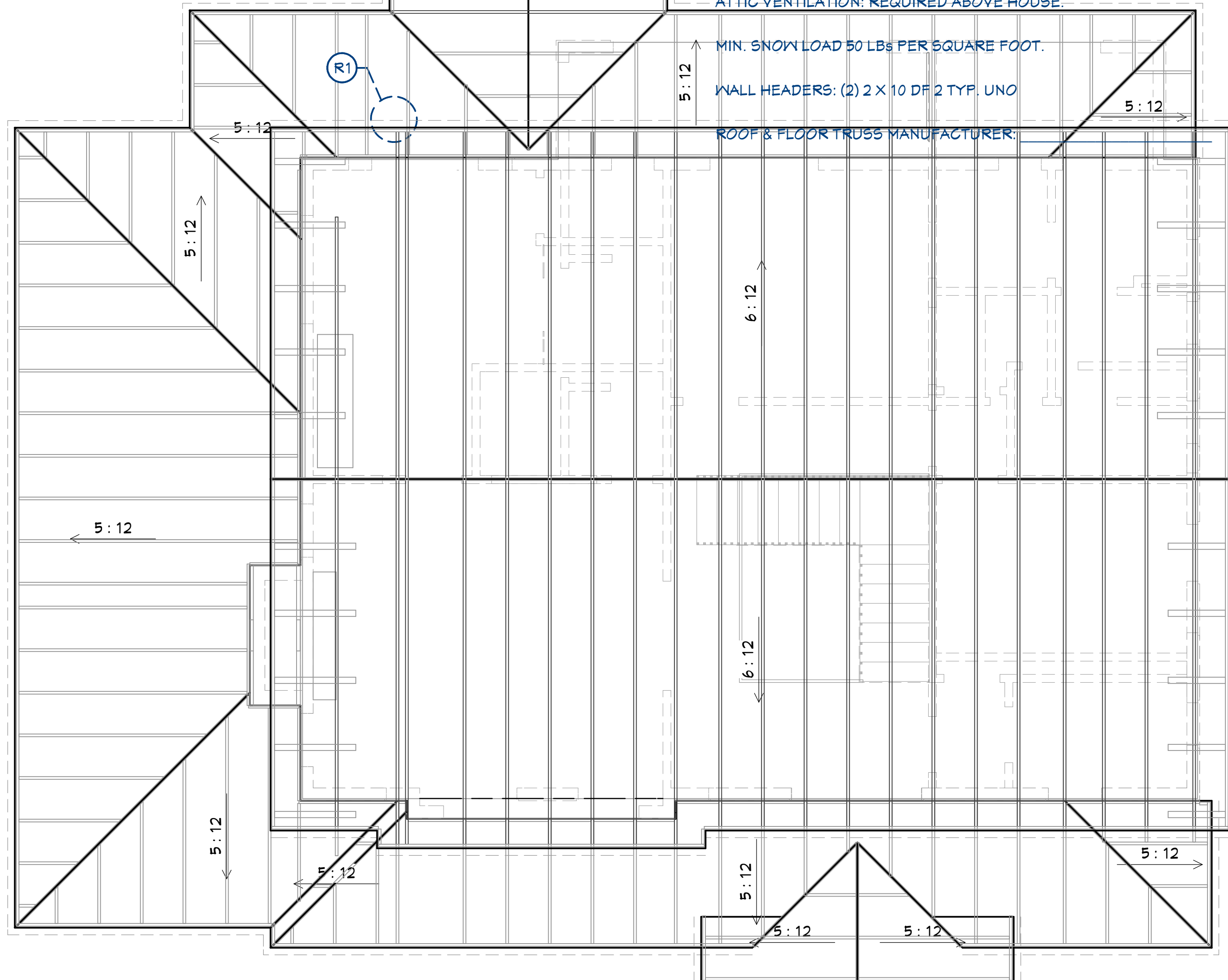
MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

ROOF & FLOOR TRUSS MANUFACTURER:



R1 CANTILEVERED TRUSS
1" = 1'



S1 SECTION VIEW
1/4" = 1'



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SHEET TITLE:
ROOF PLAN

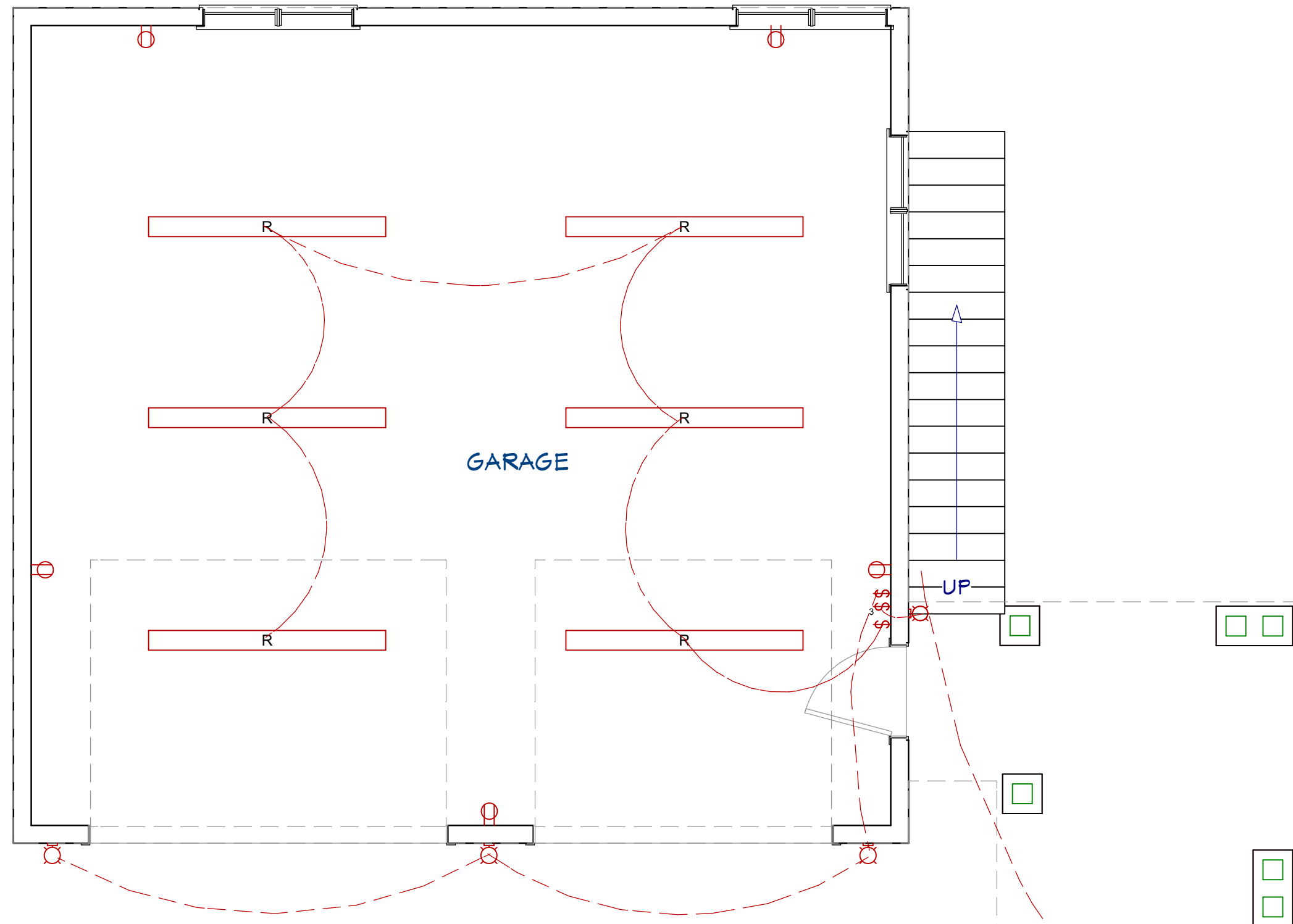
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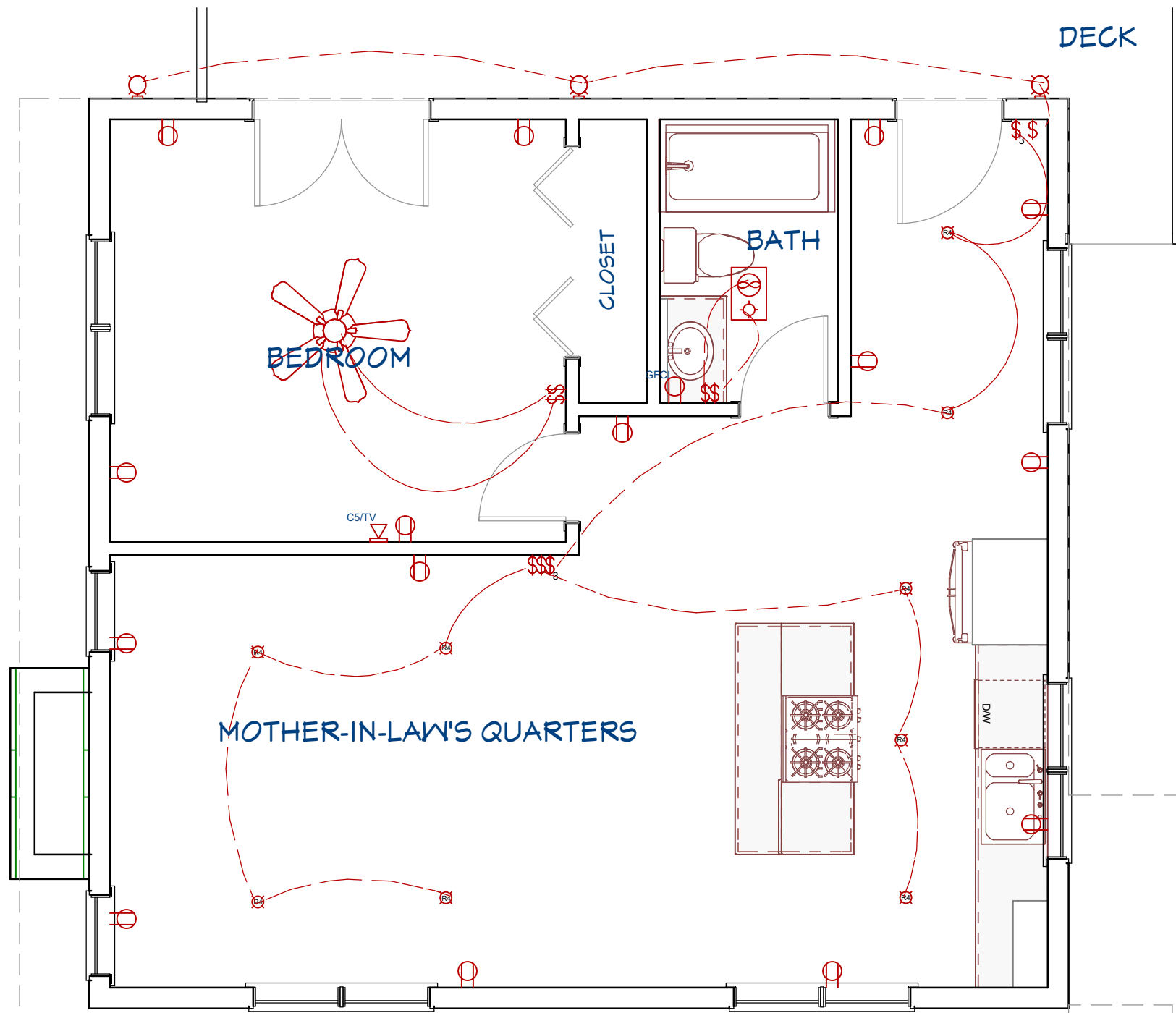
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GARAGE ELECTRICAL
1/4" : 1"



MOTHER-IN-LAW'S QUARTERS ELECTRICAL
1/4" : 1"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	CEILING FAN
	CHANDELIER LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	CEILING CAN LIGHTS: 4" RECESSED, CABINET PUCK, 6" VAPOR BARRIER
	EXTERIOR LIGHT FIXTURES: PENDANT LIGHT, WALL SCONCE
	RECESSED FLUORESCENT LIGHT FIXTURE
	VENTILATION FANS: WITH AND WITHOUT LAMP
	SWITCHES: DIMMER, SINGLE POLE, THREE-WAY, FOUR-WAY
	110V RECEPTACLES: DUPLEX, GFCI
	110V DEDICATED CIRCUIT RECEPTACLES: REFRIGERATOR, VENTILATION HOOD, DISHWASHER, CLOTHES WASHER
	220V RECEPTACLES: RANGE/OVEN, CLOTHES DRYER
	DATA JACK

ELECTRICAL NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

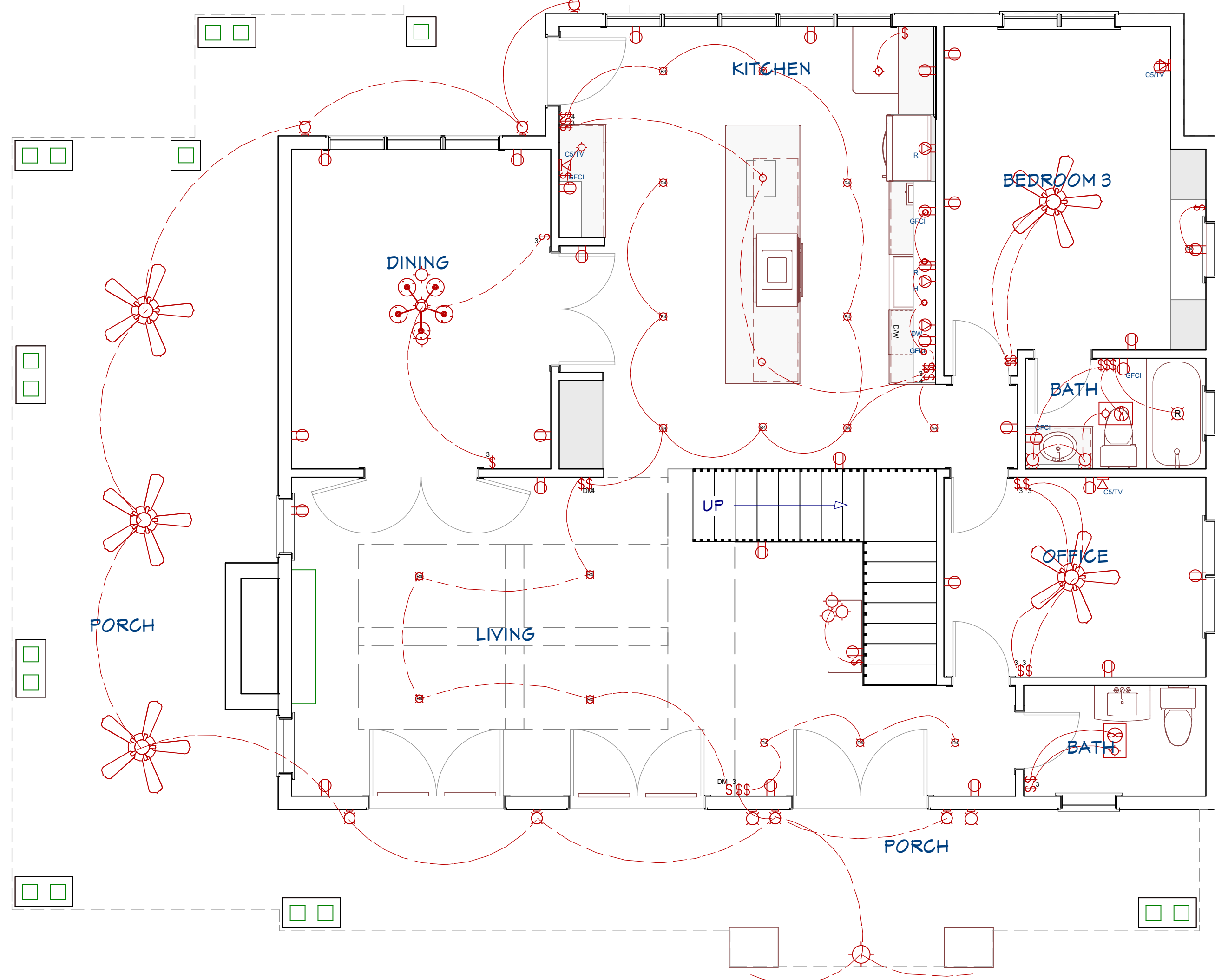
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

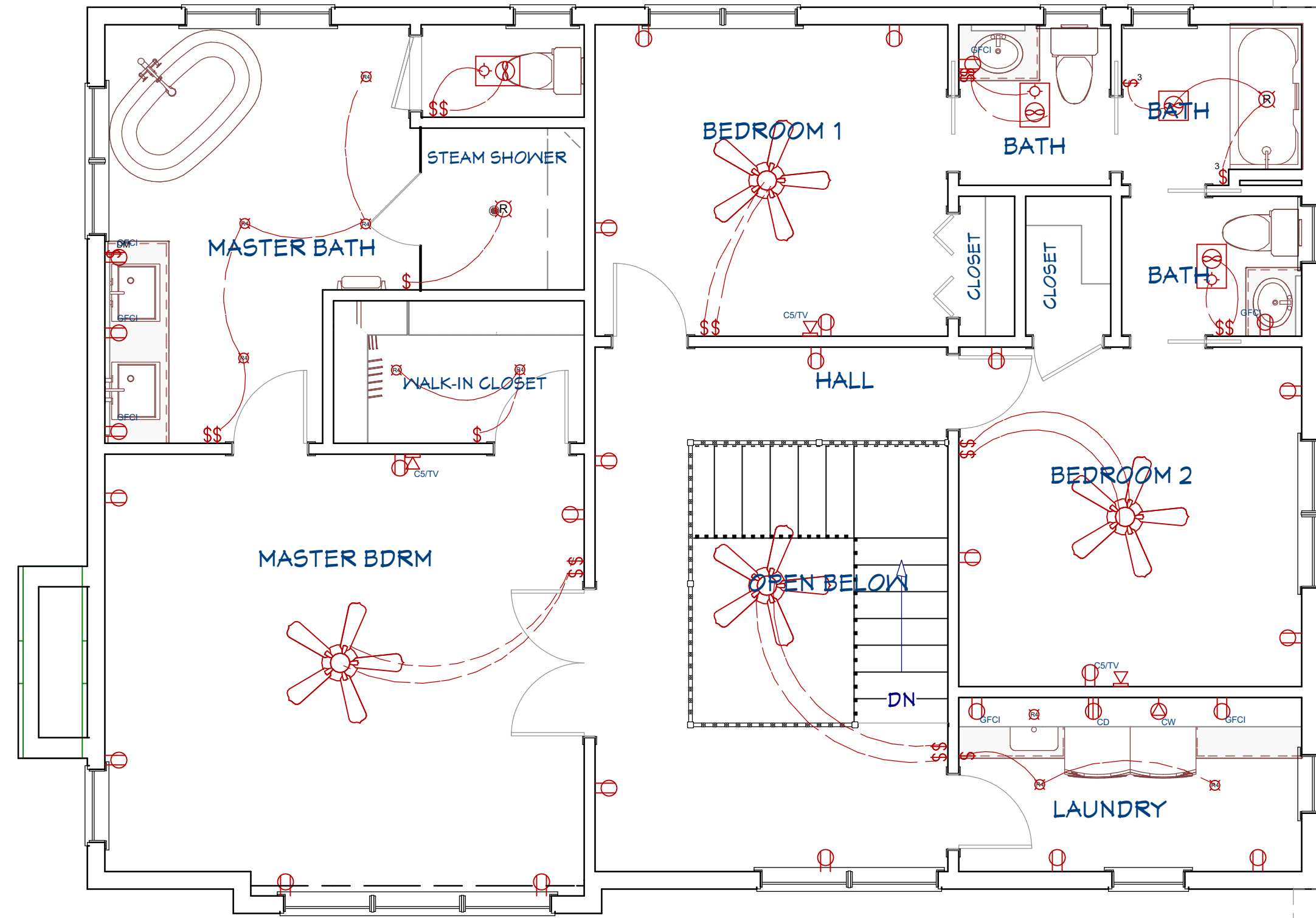
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.



MAIN FLOOR ELECTRICAL
1/4" : 1"



SECOND FLOOR ELECTRICAL
1/4" : 1"



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SHEET TITLE:
ELECTRICAL PLAN

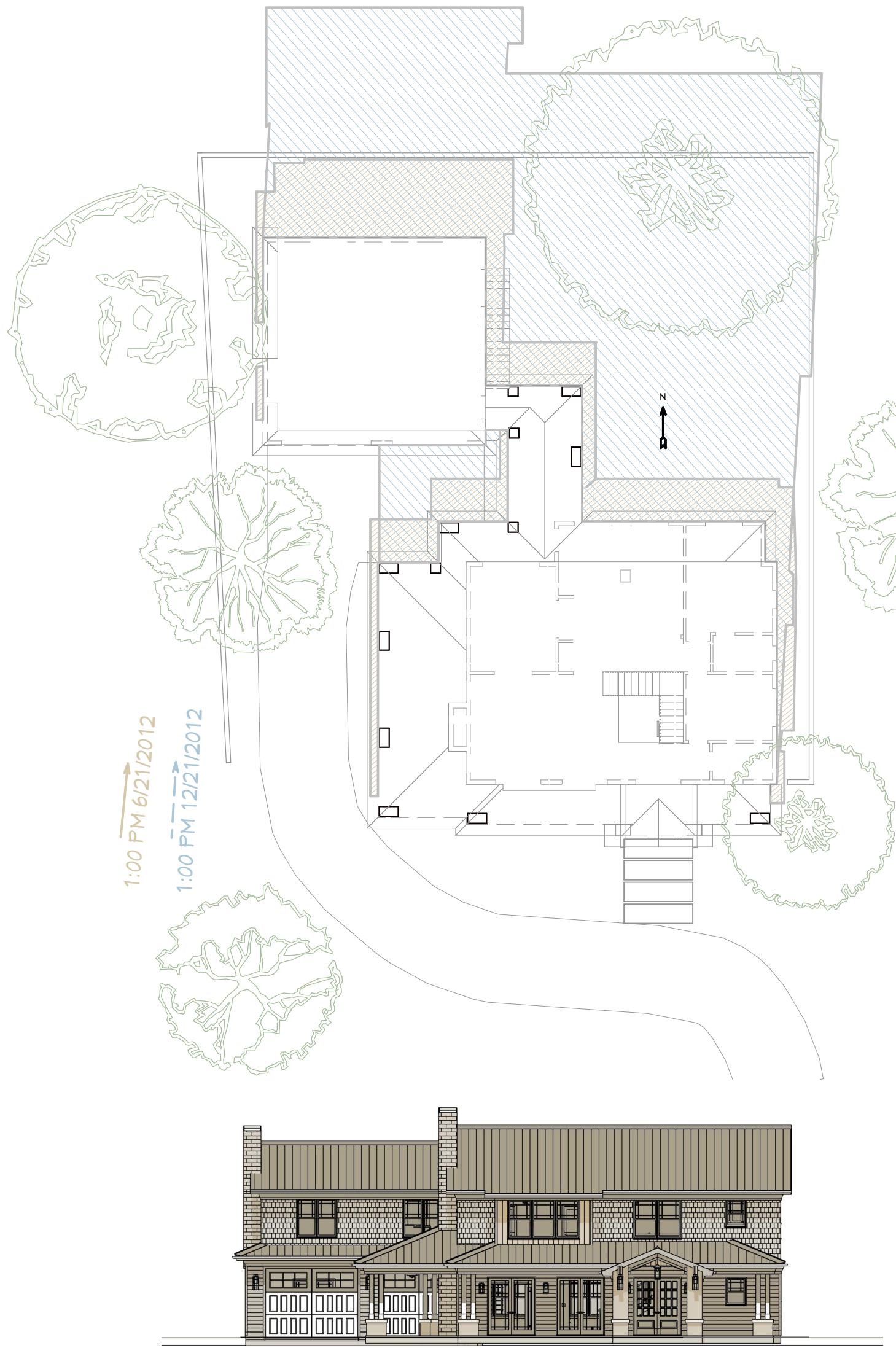
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SUN SHADOW STUDY

1/16" = 1'

HOME OWNER:

PROJECT ADDRESS:

LEGAL ADDRESS: Legal Description Here

FIRE DISTRICT: Fire District Here

WATER DISTRICT: Water District Here

STORM WATER#:

BLDG PERMIT#:

BUILDING AREA:	FLOOR 1:	SQ. FT.
	FLOOR 2:	SQ. FT.
	FOUNDATION:	SQ. FT.
	GARAGE:	SQ. FT.
	TOTAL:	SQ. FT.
	DECKS	SQ. FT.
	LIVABLE AREA:	SQ. FT.

PROJECT STATISTICS:

LOT SIZE: SF
ANTICIPATED DISTURBED AREA: SQ. FT.
BUILDING ENVELOPE: SQ. FT.
ROOF AREA: SQ. FT.
FRONT HEIGHT AT RIDGE: FT.
REAR HEIGHT AT RIDGE: FT.

SOIL TYPE: SHALLOW AND MODERATELY DEEP, WELL-DRAINED
SOIL FORMED IN MATERIAL WEATHERED FROM
BASALT
THAT HAS A SMALL AMOUNT OF LOESS IN THE
UPPER
PART OF THE PROFILE. THE PERMEABILITY IS
ESTIMATED
TO BE MODERATE.
SOIL DENSITY: *2,000 PSF ALLOWABLE (ASSUMED). TO BE
DETERMINED AT TIME OF EXCAVATION.
FROST DEPTH: *2'-0"
SEISMIC ZONE: C,
WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE
C.

SITE PLAN NOTES:

1. SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.
2. CALL BEFORE YOU DIG: 800.428.4950

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL
STATE AND LOCAL CODE REQUIREMENTS.
2006 IEC AND 2006 IMC SHALL BE USED.
THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY
PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR
SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED
DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL
DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY
THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF
PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS
OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC
AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR
OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO
CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT
DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF
THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT
ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND
LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

DESIGN CRITERIA: 2006 IRC AND IBC
ROOF: 50 PSF SNOW LOAD
*8 PSF TOP CHORD DL.
*7 PSF BOTTOM CHORD DL.
*5 PSF NET WIND UPLIFT.
FLOOR: 40 PSF LL.
*10 PSF TOP CHORD DL.
*5 PSF BOTTOM CHORD DL.
SOIL: *2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION
FROST DEPTH: *2'-0"
SEISMIC ZONE: C,
WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR
AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN
PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

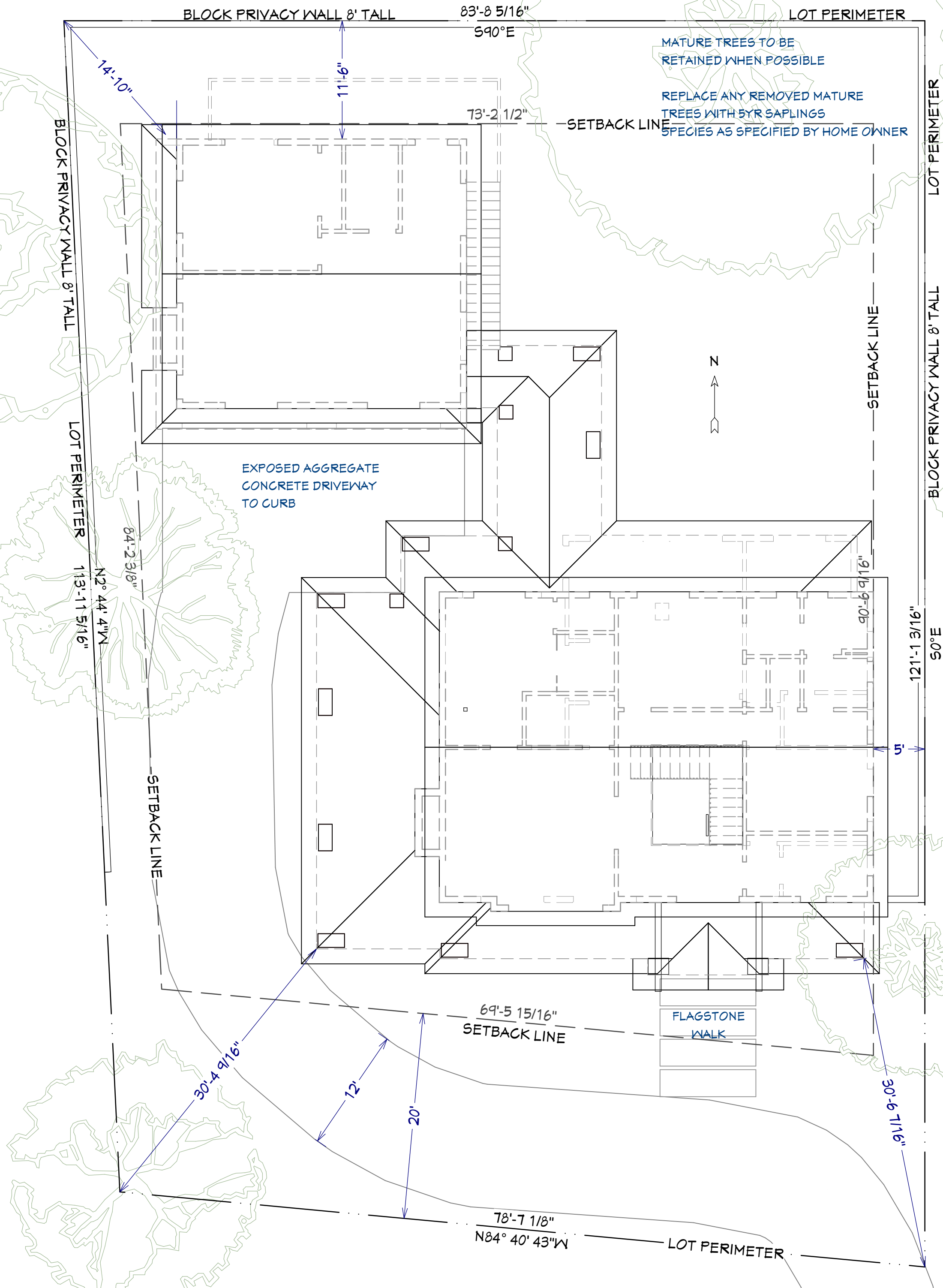
INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE
SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN)
FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND
IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER
BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.



LOT AND BUILDING SITE

1/8" = 1'



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
LOT AND BUILDING SITE

PROJECT DESCRIPTION:
MODERN
BUNGALOW

DRAWINGS PROVIDED BY:
Chief Architect
6500 N. Mineral Dr. Coeur d'Alene, Idaho
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DATE:
Jan. 2013

SCALE:
SEE VIEW

SHEET:
A-10