

PLOT PLAN

1" = 50'

NOTE:
MEASUREMENTS ARE BASED UPON OUTSIDE DATA AND HAVE NOT BEEN VERIFIED. VERIFY ALL MEASUREMENTS IN FIELD.

SHEET INDEX

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GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH STATE OF CALIFORNIA REQUIREMENTS AND CODES FOR TYPE-V CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL OR OTHER ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
- WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL WORK CONFORMS TO ALL APPLICABLE CODES AND MEETS ALL USABILITY NEEDS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
- CONTRACTOR AND/OR SUBCONTRACTORS SHALL EMPLOY NO PERSONS NOT PROVIDED WITH APPROPRIATE WORKER'S COMPENSATION INSURANCE AS REQUIRED BY THE STATE OF CALIFORNIA.
- ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. ALL DIMENSIONS ARE TO THE FACE OF FRAMING SURFACE UNLESS OTHERWISE NOTED.
- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE WEAKENED, EXCEPT AS ALLOWED BY THE UNIFORM BUILDING CODE, UNLESS OTHERWISE NOTED ON THE PLANS.

FOUNDATION NOTES

- ALL CONCRETE MUST HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS NOTED OTHERWISE.
- ALL SLABS IN CONDITIONED AREAS TO HAVE A VAPOR BARRIER UNDER THE SLAB.
- ALL REBAR TO BE DEFORMED.
- ALL #3 & #4 REBAR TO BE GRADE 40 STEEL MINIMUM.
- ALL #5 REBAR & LARGER TO BE GRADE 60 STEEL MINIMUM.
- CONTACT ENGINEER IMMEDIATELY IF ANY EXPANSIVE (CLAY) SOILS OR QUESTIONABLE SOILS ARE FOUND DURING EXCAVATION.
- CONTRACTOR TO VERIFY ANCHOR BOLT SIZE AND LOCATIONS PRIOR TO POURING FOOTINGS.
- CONTRACTOR TO VERIFY ADEQUATE FOOTING DEPTH FOR SPECIAL ANCHORS PRIOR TO POURING CONCRETE.
- ALL FOOTING TRENCHES TO BE FREE OF ORGANIC MATERIALS, TRASH AND LOOSE SOIL PRIOR TO POURING.
- REBAR CLEARANCES TO SOIL TO BE A MINIMUM OF 3", FROM SURFACES EXPOSED TO WEATHER 2", AND FROM FACES OF INTERIOR WALLS 3/4".
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE-TREATED OR TO HAVE FLASHING OR FELT BARRIER.

FRAMING NOTES

- ALL NEWLY FRAMED EXTERIOR WALLS TO BE SHEATHED WITH 7/16" SHEAR PANEL WITH 8D COM. NAILS AT 6" O.C. EDGE NAILING AND 12" O.C. IN FIELD MINIMUM UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR WALLS TO BE OF 2X6 CONSTRUCTION UNLESS NOTED OTHERWISE.
- VERIFY CONTINUOUS SHEAR CONNECTION FROM ROOF THROUGH FLOORS TO FOUNDATION. CONTACT ENGINEER IF COMPLICATIONS ARISE.
- ALL HANGERS SPECIFIED TO BE SIMPSON STRONG TIE HANGERS OR EQUAL.
- ALL EXTERIOR HANGERS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE Z-MAX OR GREATER PROTECTION.
- ALL ROOF SHEATHING TO BE SPAN RATED TO MEET TRUSS OR RAFTER SPACING AND ROOF DESIGN LOADS.
- GLUE SUBFLOOR TO JOISTS WITH SUBFLOOR ADHESIVE.
- DOUBLE TOP PLATES TYPICAL. STAGGER BREAKS IN TOP PLATES A MINIMUM OF 48".
- INSTALL SQUASH BLOCKS BETWEEN FLOORS WHERE POINT LOADS FROM ABOVE ARE PRESENT.
- FOLLOW ALL MANUFACTURER'S GUIDELINES WHEN INSTALLING TRUSSES OR ENGINEERED LUMBER.

OWNER:

KEITH AND DONI CARTER
10 FIGUAL CT.
CHICO, CA 95926

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

SHEET TITLE:

TITLE PAGE/NOTES/PLOT
PLAN

PROJECT DESCRIPTION:

CARTER RESIDENCE
LASSEN VIEW COURT
MCCLOUD, CA 96051
AP# XXX-XXX-XXX

DRAWINGS PROVIDED BY:



DATE:

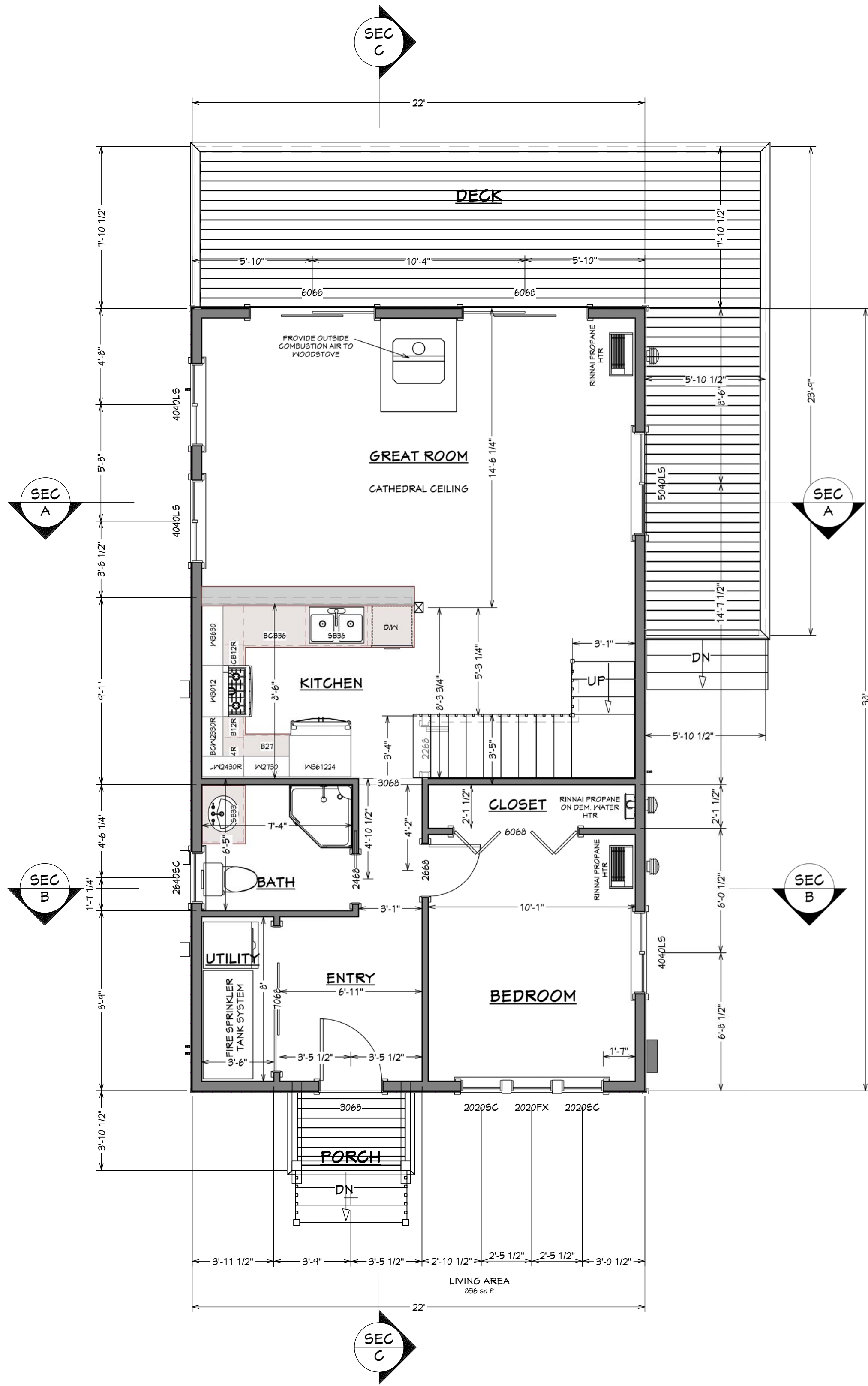
5/30/15

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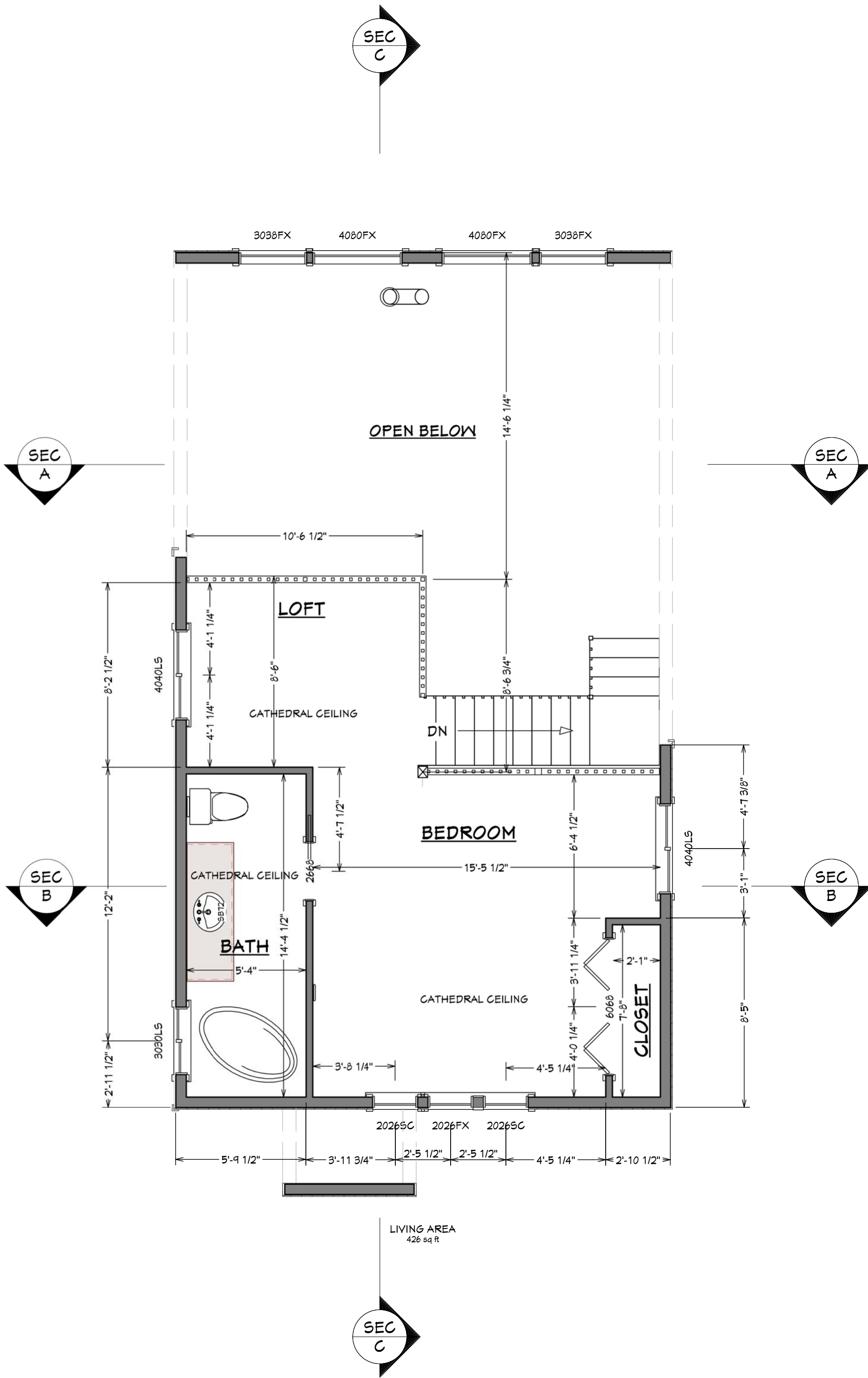
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1



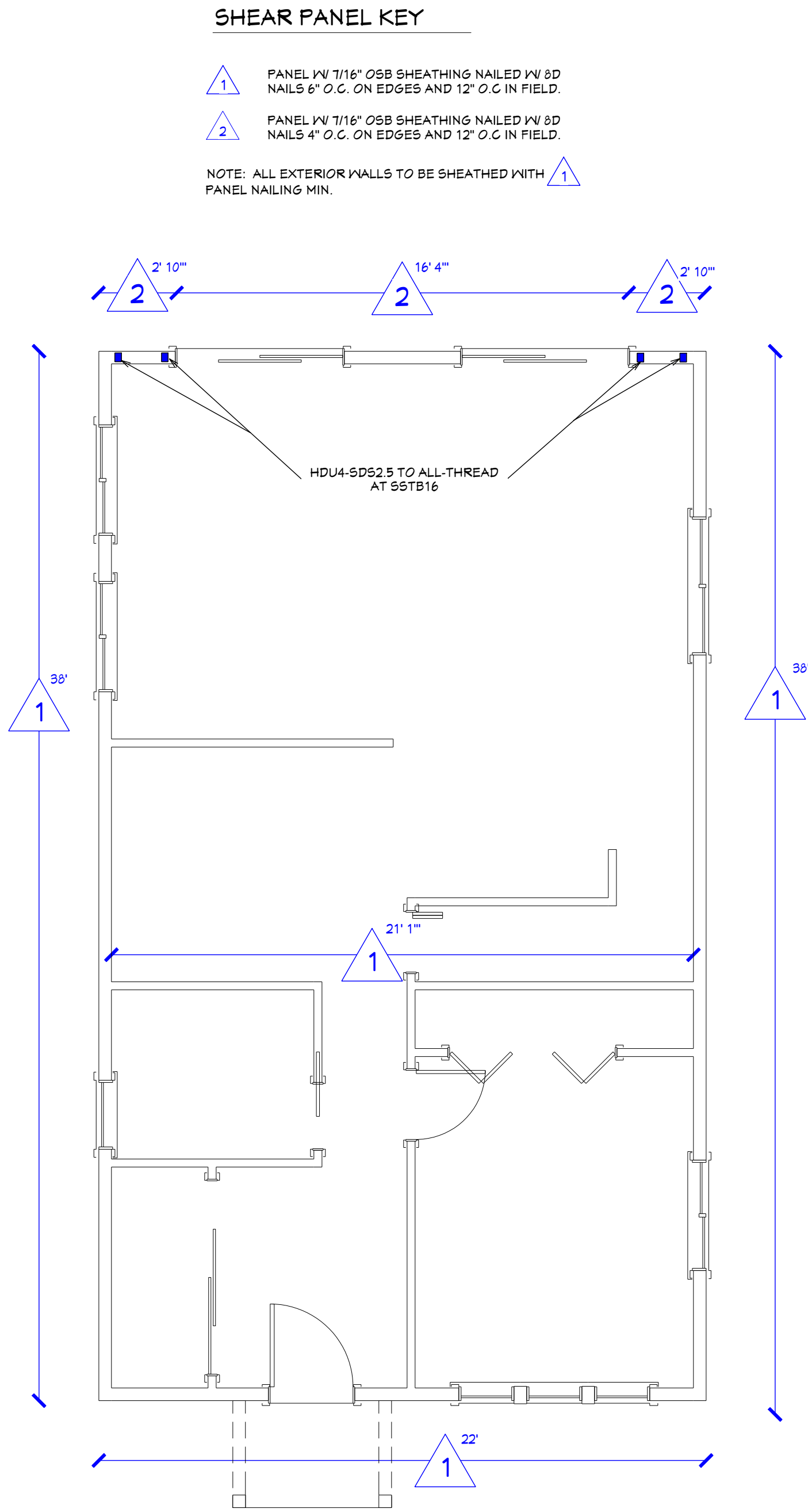
FIRST FLOOR PLAN

SCALE: 1/4" = 1'



SECOND FLOOR PLAN

SCALE: 1/4" = 1'



SHEAR WALL PLAN

SCALE: 1/4" = 1'

SHEAR PANEL KEY

- 1 PANEL KV 1/16" OSB SHEATHING NAILED KV 8D NAILS 8" O.C. ON EDGES AND 12" O.C. IN FIELD.
- 2 PANEL KV 1/16" OSB SHEATHING NAILED KV 8D NAILS 4" O.C. ON EDGES AND 12" O.C. IN FIELD.
- NOTE: ALL EXTERIOR WALLS TO BE SHEATHED WITH PANEL NAILING MIN.

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REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

SHEET TITLE:
FLOOR PLANS/SHEARALL
PLAN

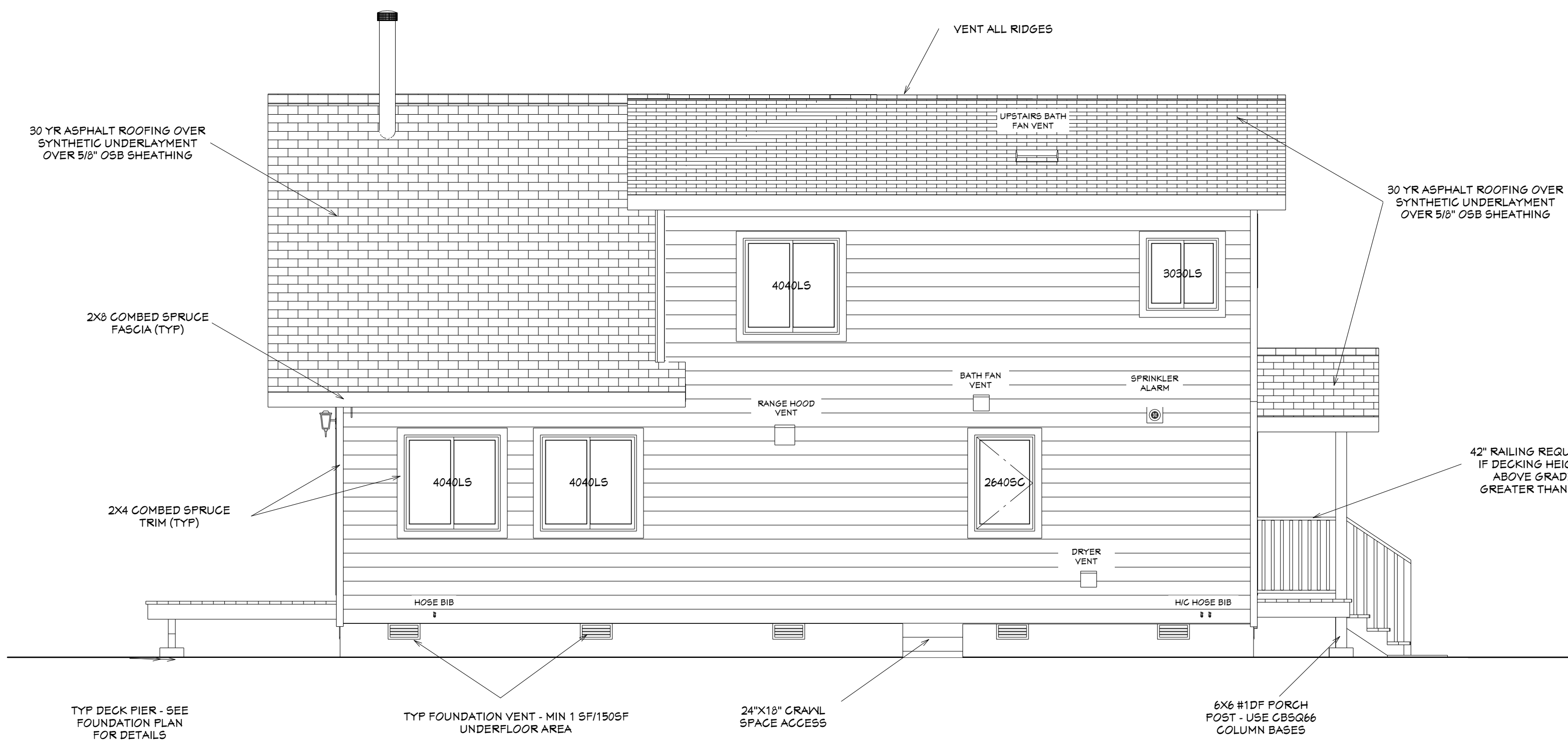
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CARTER RESIDENCE
LASSEN VIEW COURT
MCCLOUD, CA 96057
AP# XXX-XXX-XXX

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DAVE CAMP CONSTRUCTION
Design / Build
P.O. Box 113
McClelland, CA 95957
CA Lic# 6002366
832-554-4444 (cell)

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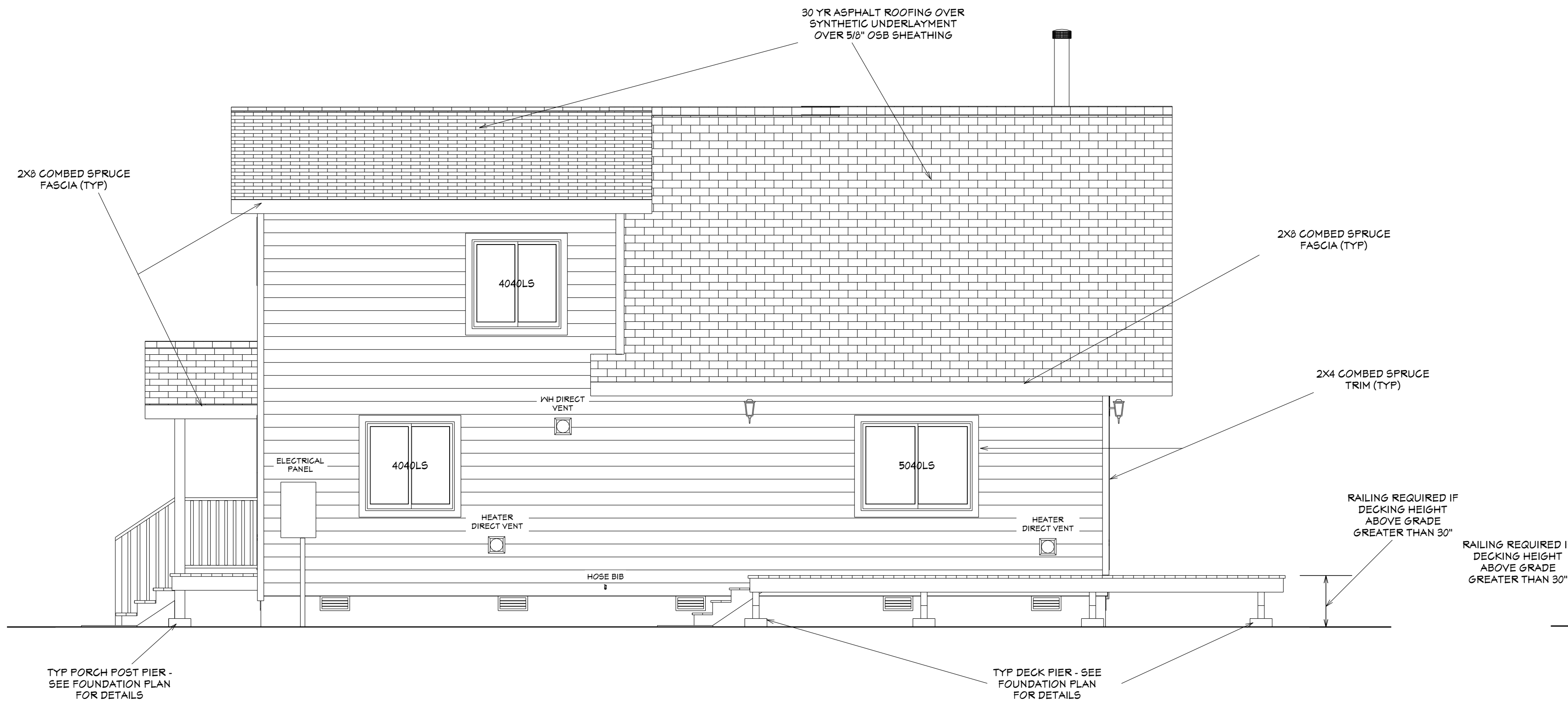
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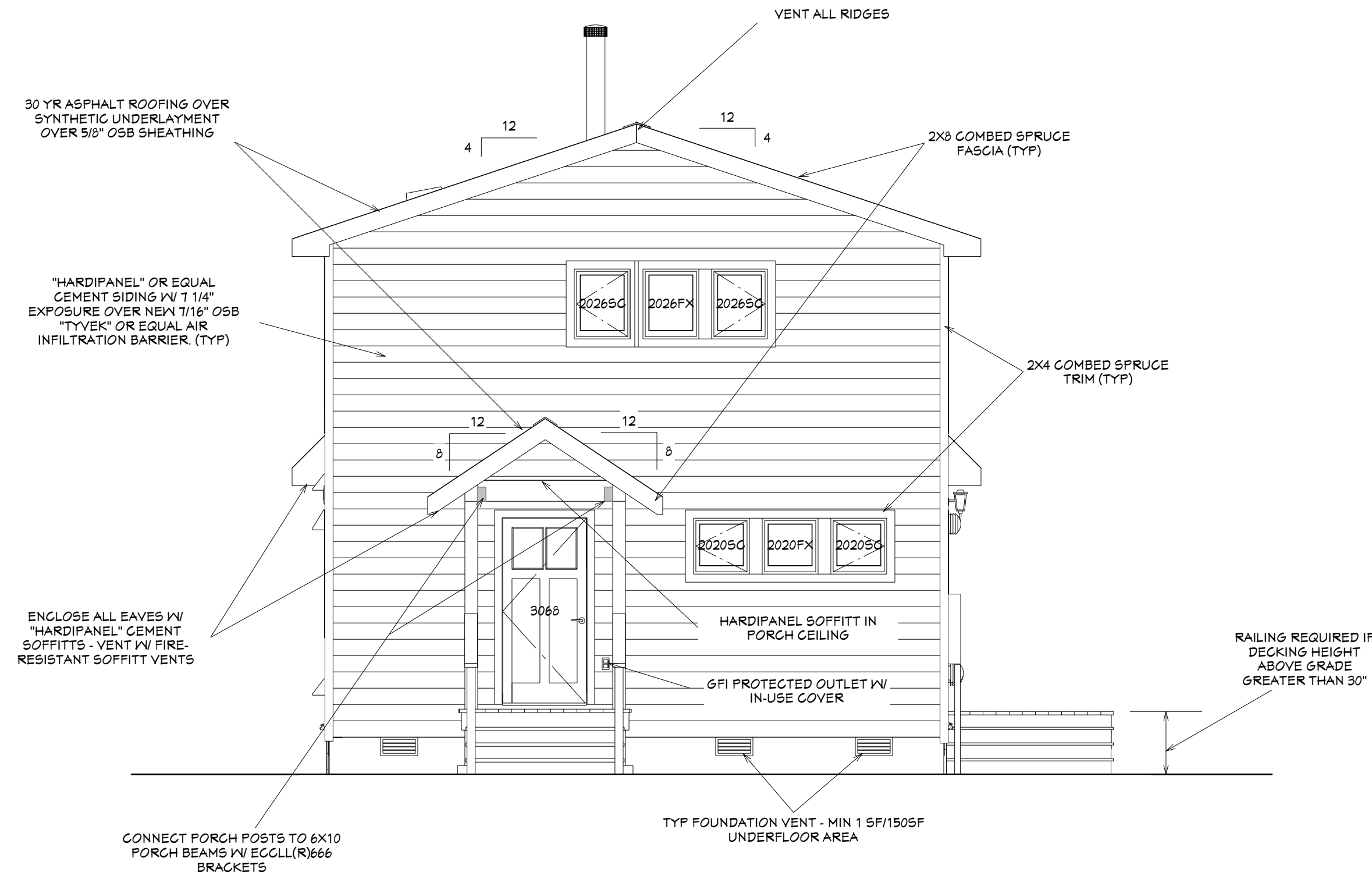
WEST ELEVATION

SCALE: 1/4" = 1'



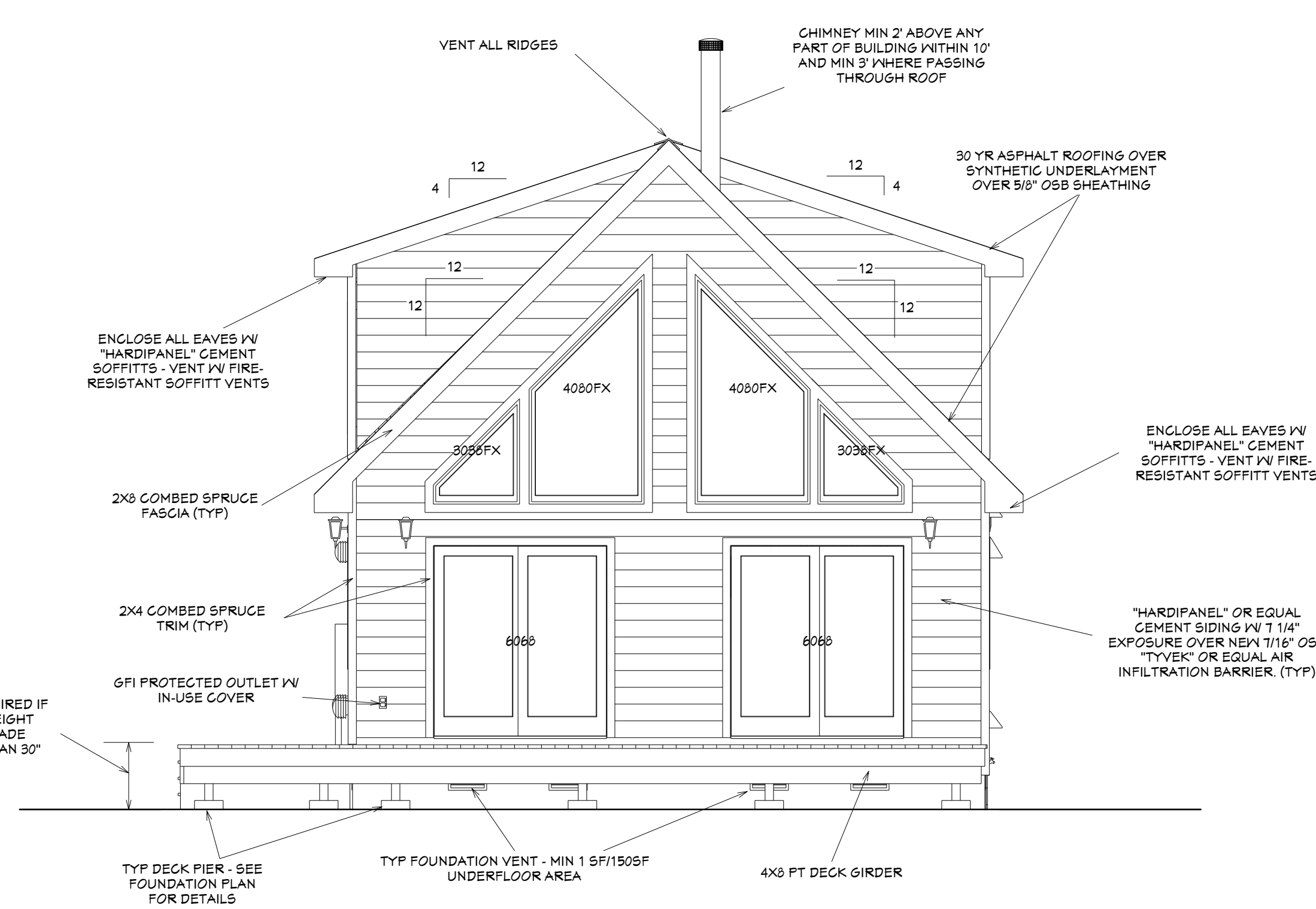
EAST ELEVATION

SCALE: 1/4" = 1'



SOUTH ELEVATION

SCALE: 1/4" = 1'



NORTH ELEVATION

SCALE: 1/4" = 1'

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CHICO, CA 95926

REVISION TABLE		REVISION BY		DESCRIPTION	
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SHEET TITLE:
ELEVATIONS

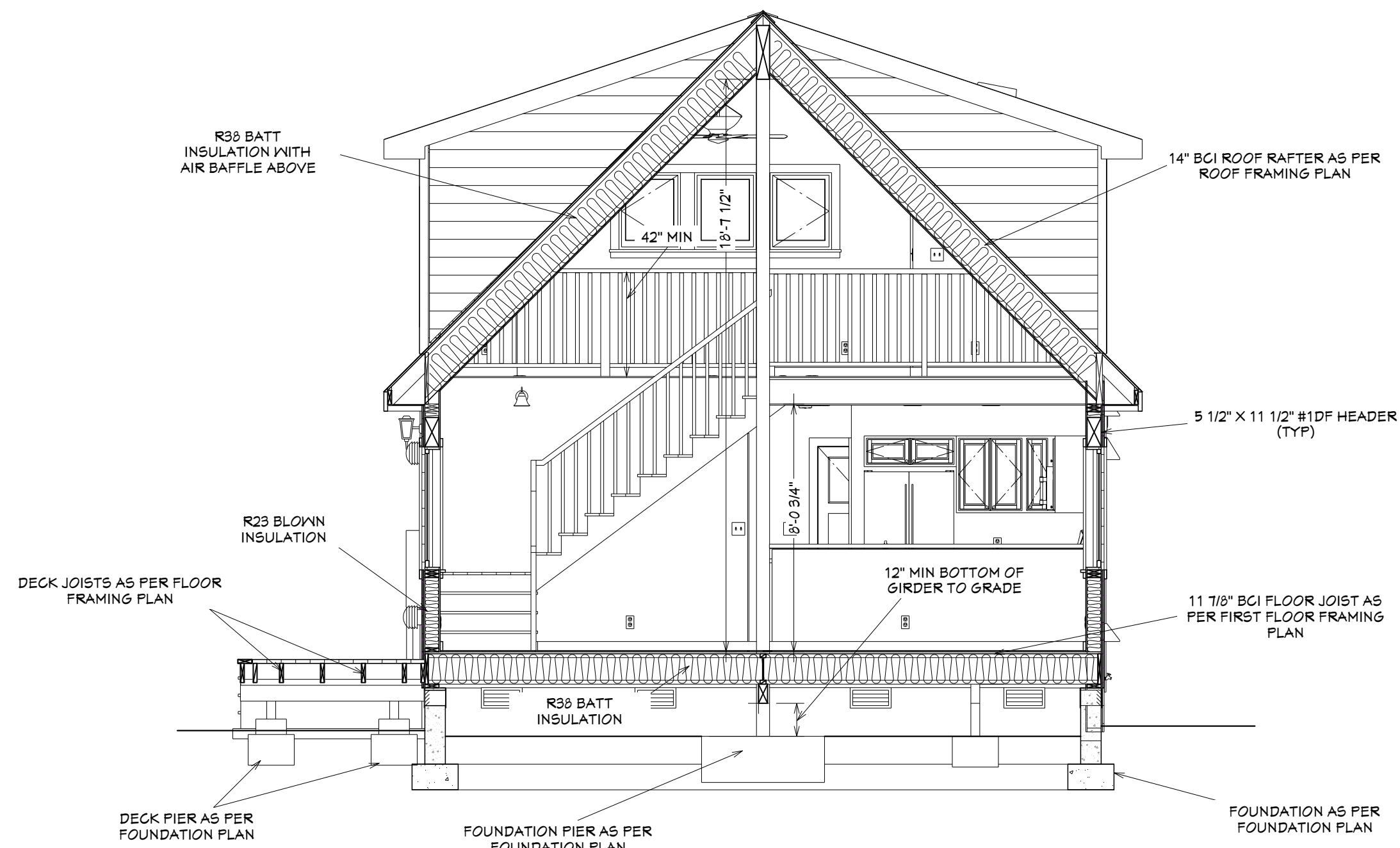
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LASSEN VIEW COURT
MC CLOUD, CA 96057
AP# XXX-XXX-XXX

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530-534-5411 (cell)

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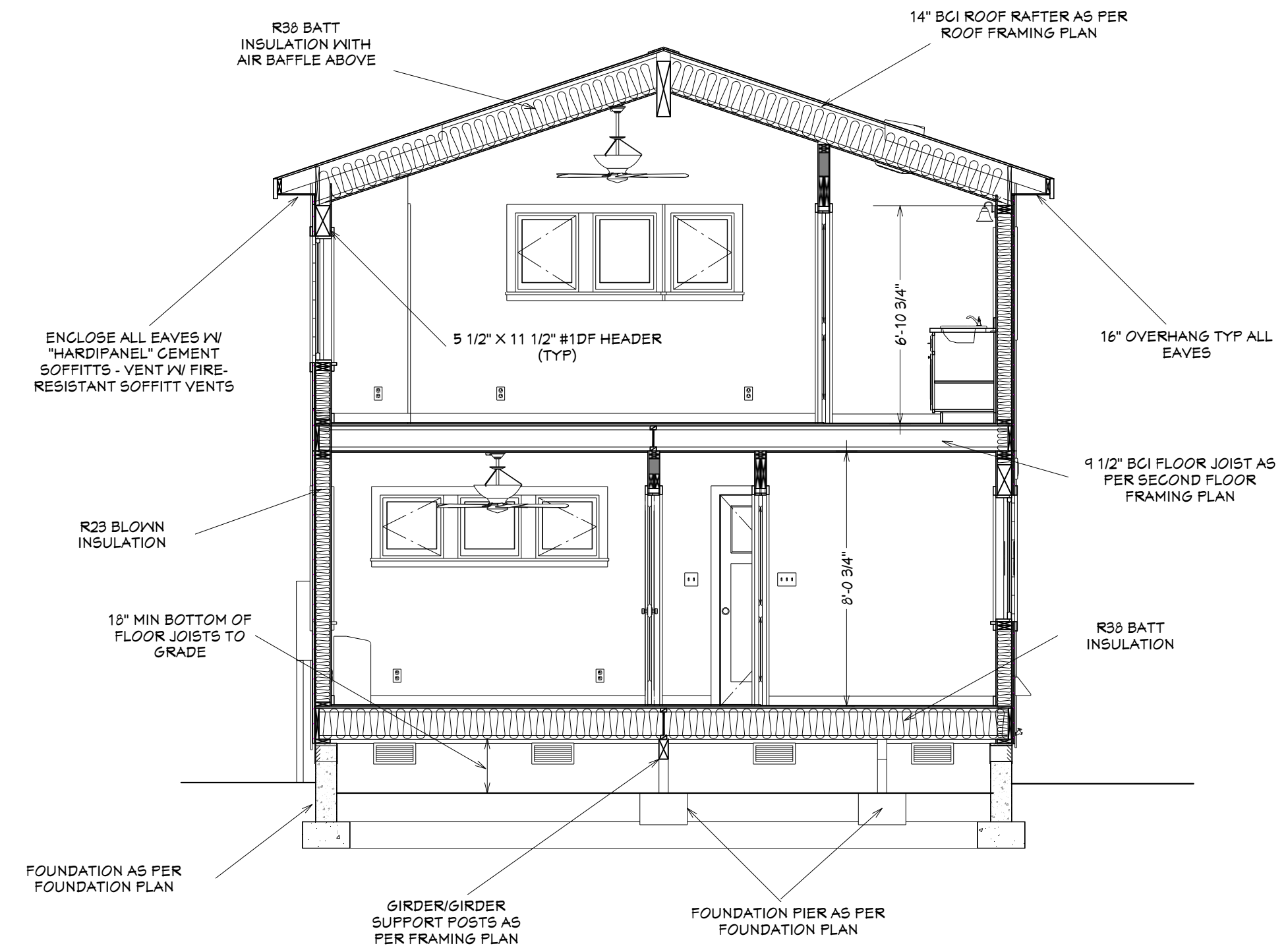
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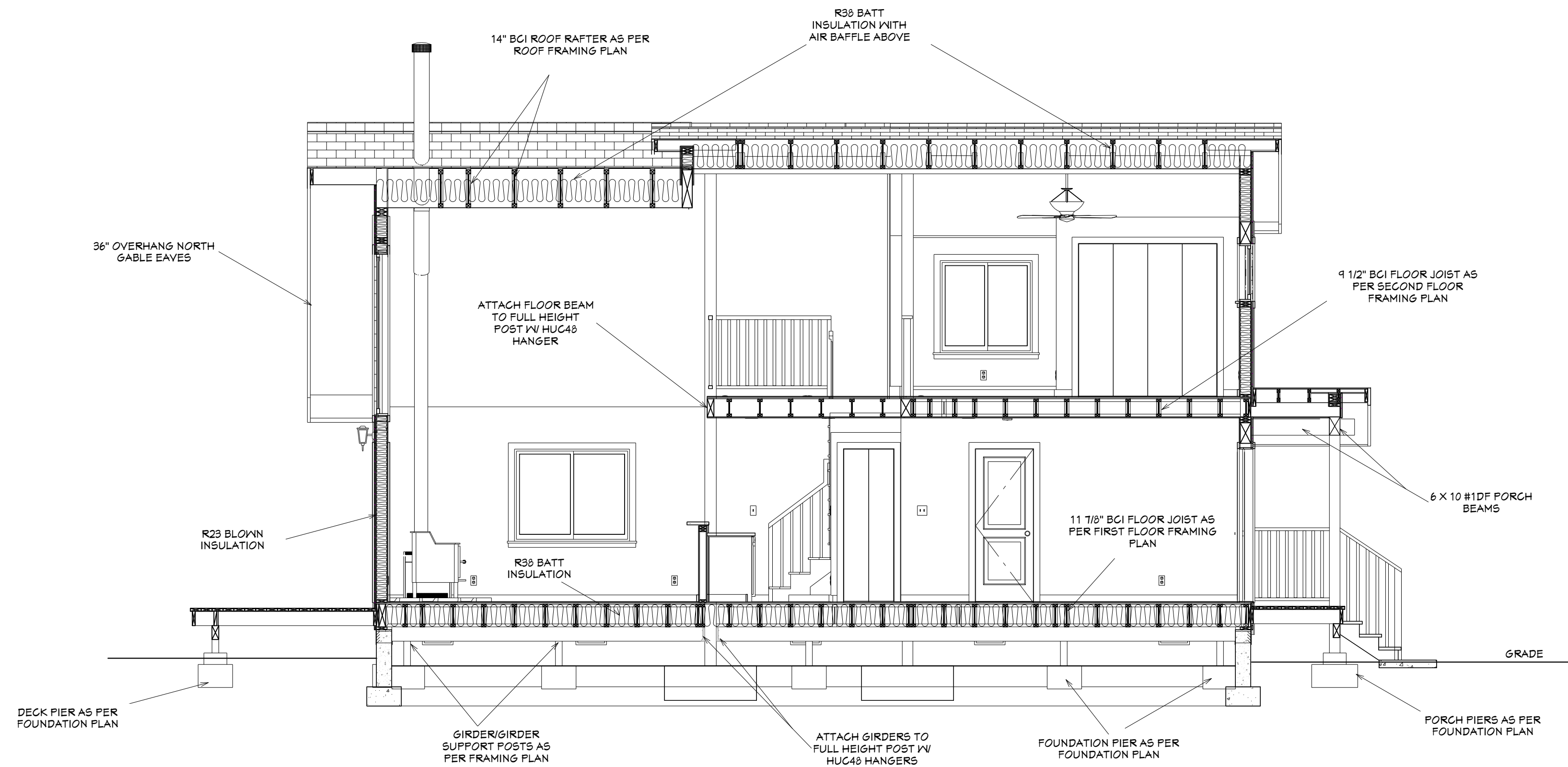
SECTION 'A'

SCALE: 1/4" = 1'



SECTION 'B'

SCALE: 1/4" = 1'



SECTION 'C'

SCALE: 1/4" = 1'

OWNER:
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CHICO, CA 95926

REVISION TABLE		REVISION BY	DESCRIPTION
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SHEET TITLE:
SECTIONS

PROJECT DESCRIPTION:
CARTER RESIDENCE
LASSEN VIEW COURT
MC CLOUD, CA 96057
AP# XXX-XXX-XXX

DRAWINGS PROVIDED BY:
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DAVE CAMP CONSTRUCTION
Design / Build
P.O. Box 113
McCloud, CA 96097
CA Lic # 600296
832-394-2441 (cell)

DATE:

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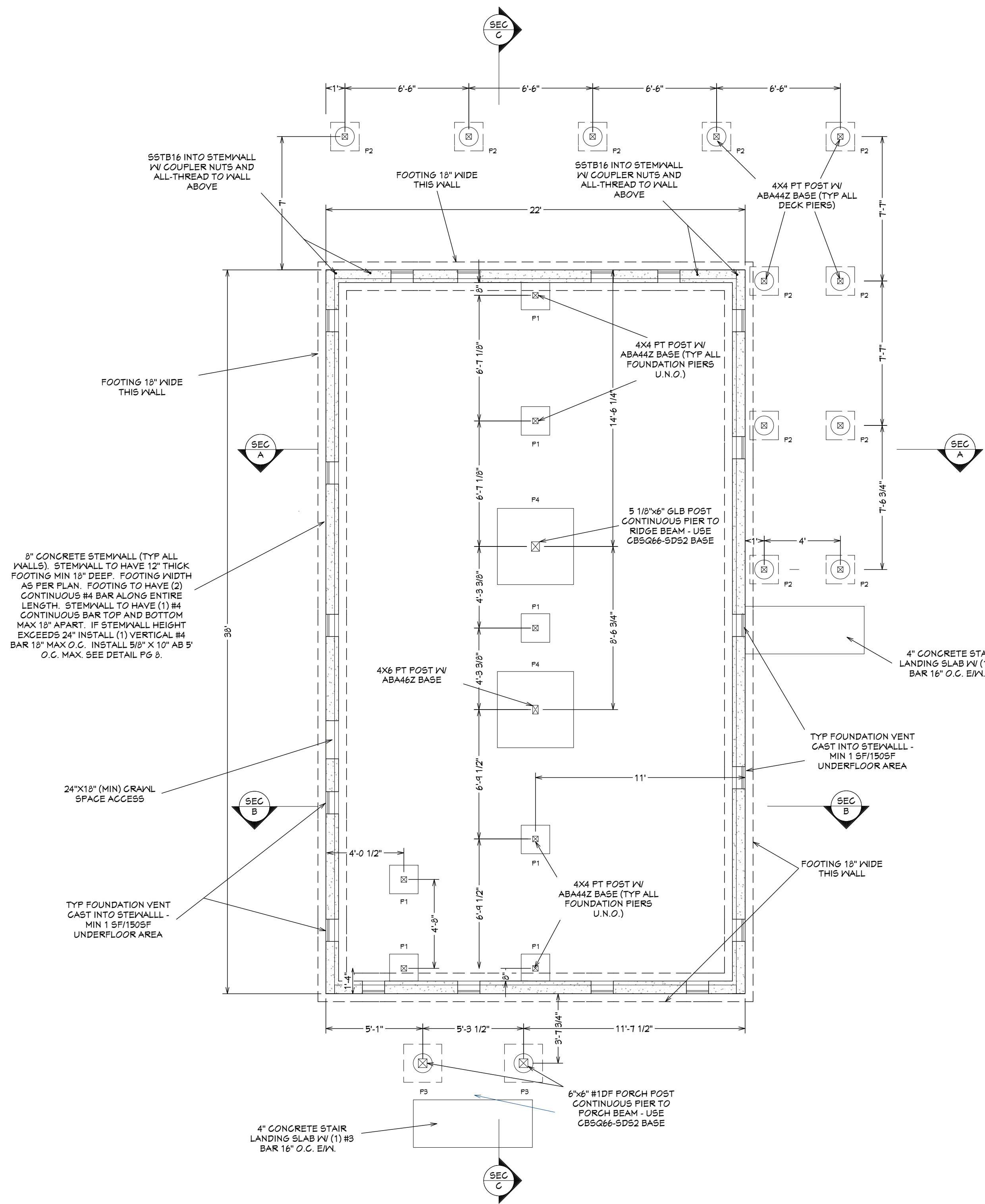
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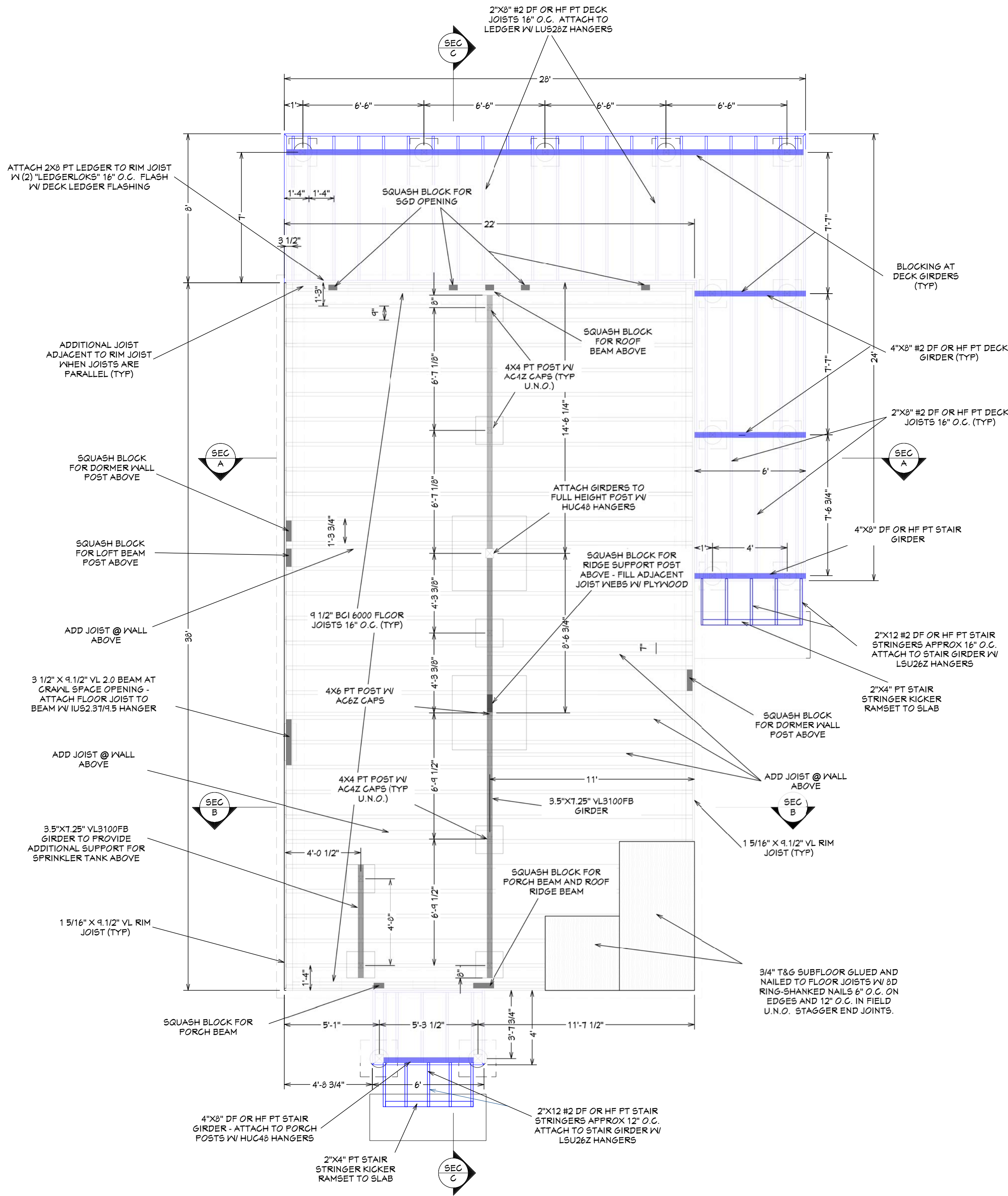
PIER LEGEND

- P1 18"x18"x12" CONCRETE FOUNDATION PIER W/ (2) #4 BARS E/W.
P2 18"x18"x12" CONCRETE DECK PIER W/ (2) #4 BAR E/W AND 12" SONOTUBE STANDOFF.
P3 24"x24"x12" CONCRETE PORCH PIER W/ (3) #4 BARS E/W AND SONOTUBE STANDOFF.
P4 48"x48"x18" CONCRETE FOUNDATION PIER W/ (5) #4 BAR E/W.



FOUNDATION PLAN

SCALE: 1/4" = 1'



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'

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NUMBER	DATE	REVISION TABLE	
		REVISOR	DESCRIPTION

SHEET TITLE:
FOUNDATION PLAN / FIRST
FLOOR FRAMING PLAN

PROJECT DESCRIPTION:
CARTER RESIDENCE
LASSEN VIEW COURT
MCCLOUD, CA 96051
AP# XXX-XXX-XXXX

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DC
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Design / Build
P.O. Box 113
McClelland, CA 95957
916-284-2444 (cell)

DATE:

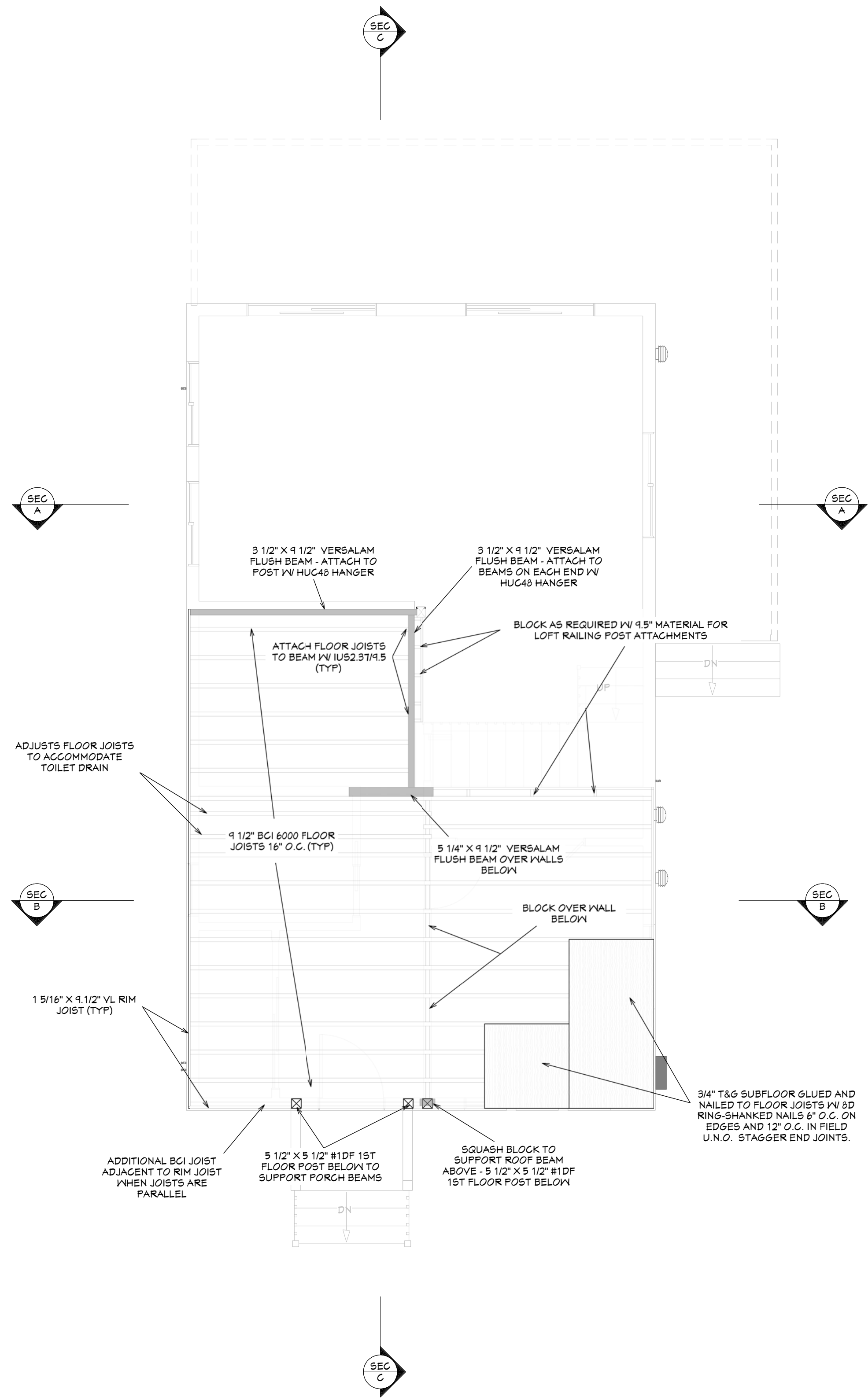
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SCALE:

AS NOTED

SHEET:

5



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'

OWNER:
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REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

SHEET TITLE:
SECOND FLOOR
FRAMING PLAN

PROJECT DESCRIPTION:
CARTER RESIDENCE
LASSEN VIEW COURT
MCCLOUD, CA 96051
AP# XXX-XXX-XXX

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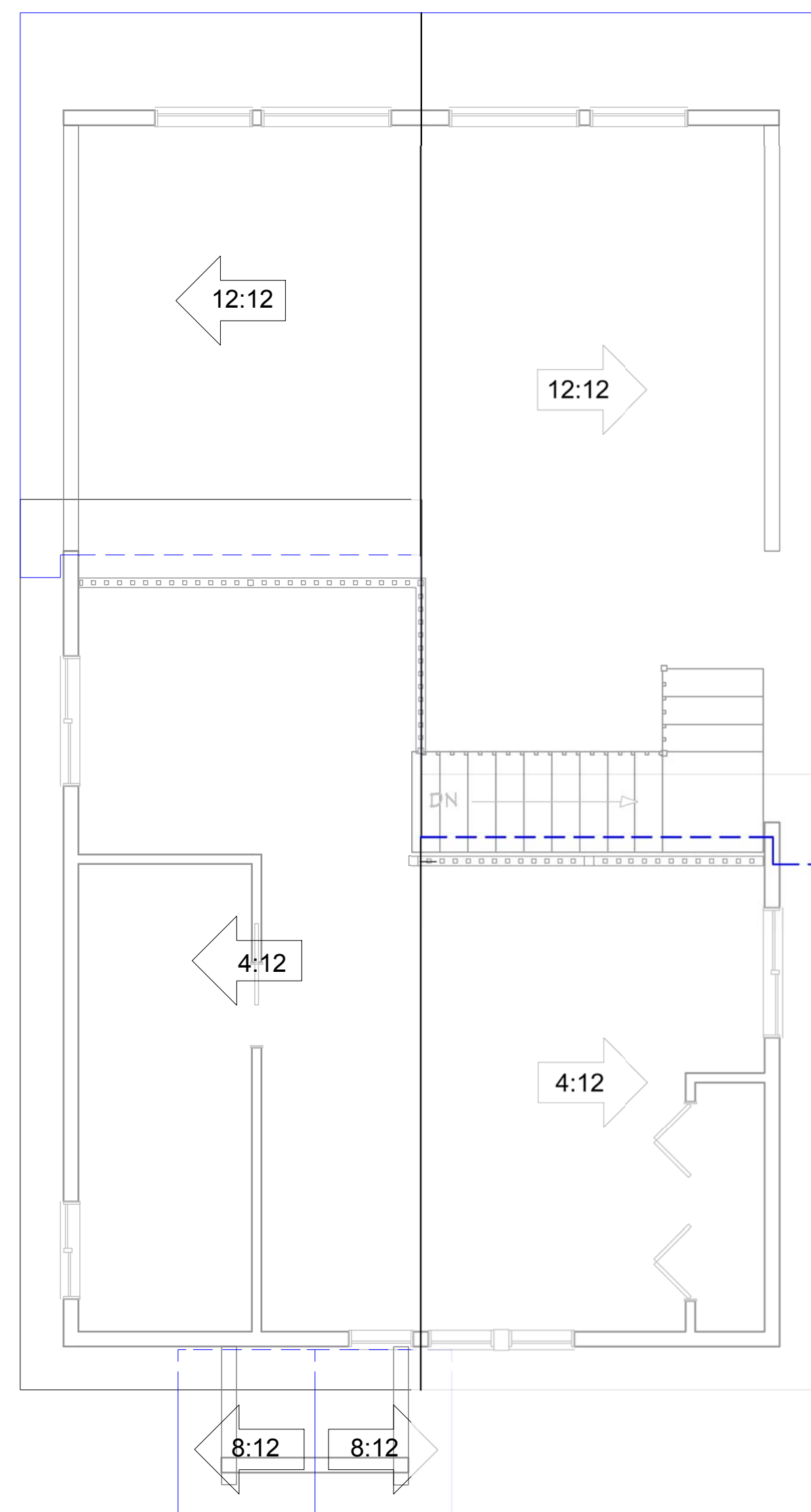


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850-554-0411 (cell)

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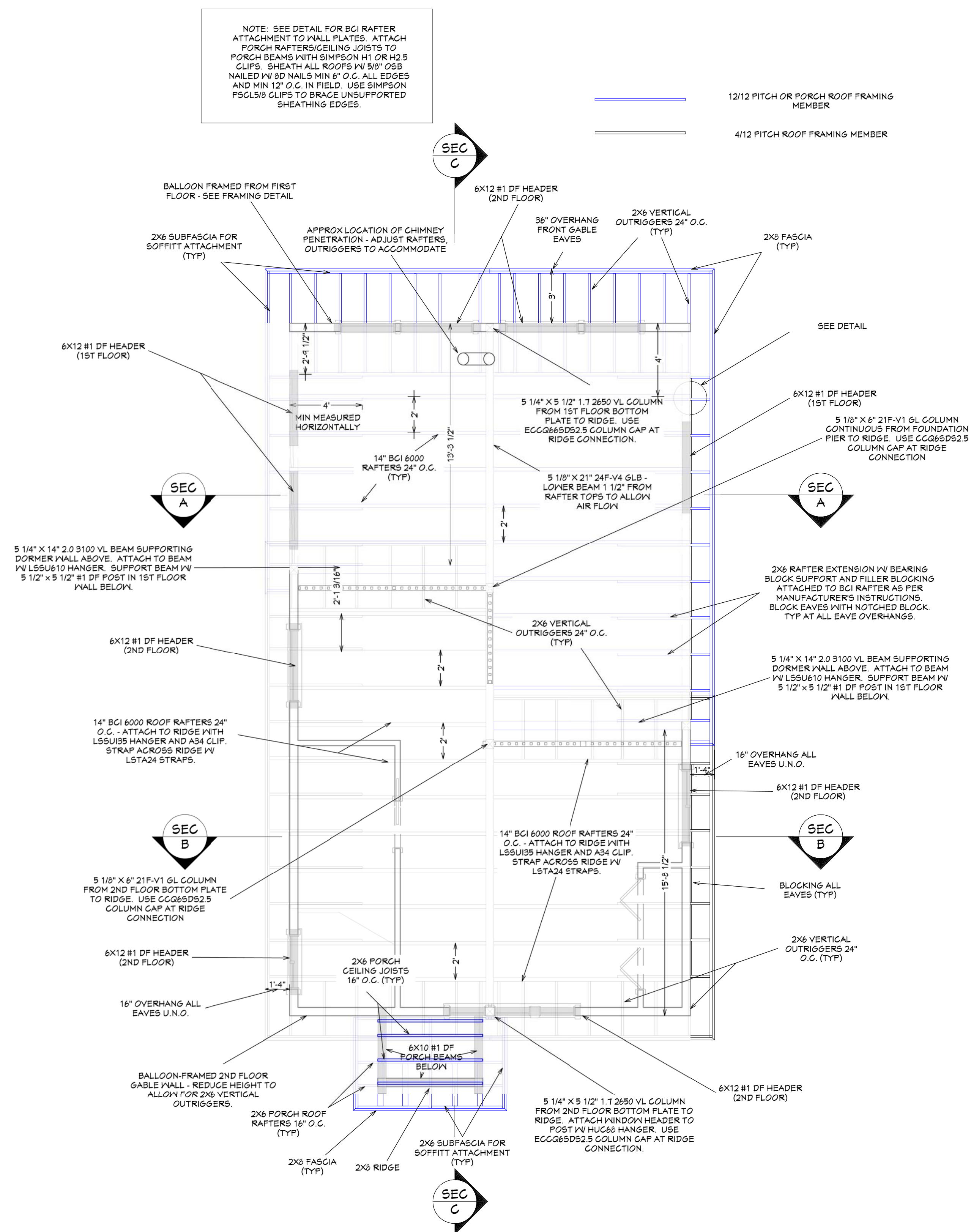
SCALE:
AS NOTED

SHEET:
6



ROOF OVERVIEW

SCALE: 1/4" = 1'



ROOF FRAMING PLAN

SCALE: 1/4" = 1'

[illegible]

SHEET TITLE:

ROOF FRAMING PLANS

PROJECT DESCRIPTION:

CARTER RESIDENCE
LASSON VIEW COURT
MCCLLOUD, CA 96057
AP# XXX-XXX-XXX

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DATE:

5/30/15

SCALE:

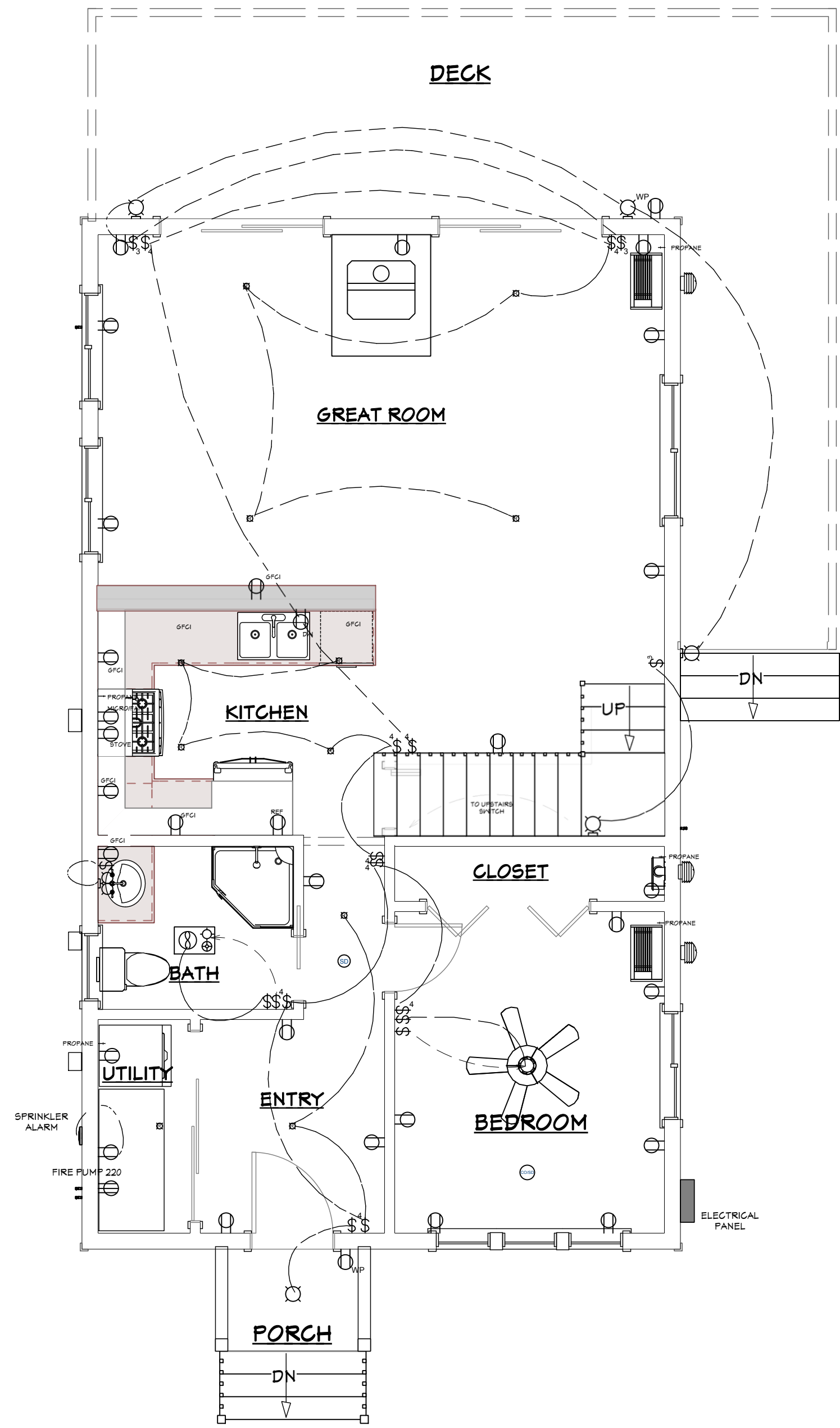
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SHEET:

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OWNER:

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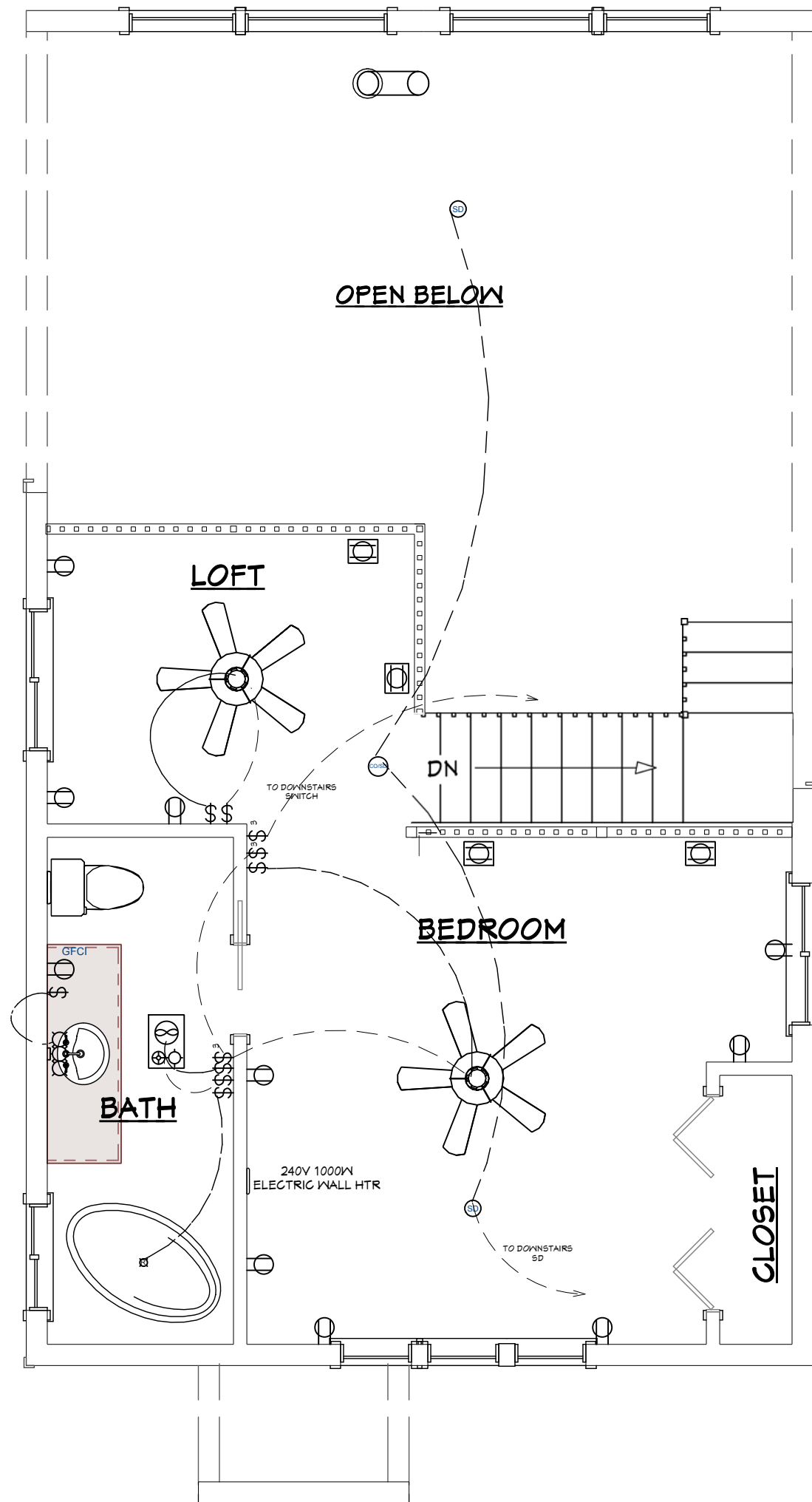


FIRST FLOOR ELECTRICAL/MECHANICAL PLAN

SCALE: 1/4" = 1'

ELECTRICAL NOTES:

- ALL NEWLY INSTALLED CIRCUITS MUST BE PROTECTED WITH ARC FAULT CIRCUIT BREAKERS. DEDICATED GFCI CIRCUITS MAY HAVE STANDARD BREAKERS.
- SMOKE/CARBON MONOXIDE DETECTORS TO BE INTERCONNECTED
- ALL NEWLY WIRED OUTDOOR FIXTURES ATTACHED TO BUILDING MUST BE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR WITH PHOTO CONTROL
- NEWLY WIRED HARDWIRED FIXTURES IN BEDROOMS AND "OTHER INTERIOR ROOMS" I.E. HALLWAYS, DINING ROOMS, ETC. MUST BE HIGH EFFICACY OR BE CONTROLLED BY A MANUAL-ON, AUTOMATIC-OFF OCCUPANCY SENSOR OR A DIMMER
- NEWLY WIRED HARDWIRED FIXTURES IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICACY OR BE CONTROLLED BY A MANUAL-ON, AUTOMATIC-OFF OCCUPANCY SENSOR
- NEWLY WIRED LIGHTING FIXTURES IN KITCHEN AREAS MUST BE HIGH EFFICACY ALTHOUGH UP TO 50% OF TOTAL WATTAGE IN KITCHEN MAY BE OTHER THAN HIGH EFFICACY FIXTURES.
- CONTROL ALL NEWLY WIRED HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING
- TITLE 24 REQUIREMENTS DO NOT APPLY TO FLOOR OR TABLE LAMPS
- NEW RECESSED FIXTURES IN INSULATED CEILINGS MUST BE IC RATED AND ASTM E263 "AIR-TITE" CERTIFIED



SECOND FLOOR ELECTRICAL/MECHANICAL PLAN

SCALE: 1/4" = 1'

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ELECTRICAL/MECHANICAL
PLANS

PROJECT DESCRIPTION:

CARTER RESIDENCE
LASSEN VIEW COURT
MC CLOUD, CA 96051
AP# XXX-XXX-XXX

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DATE:

5/30/15

SCALE:

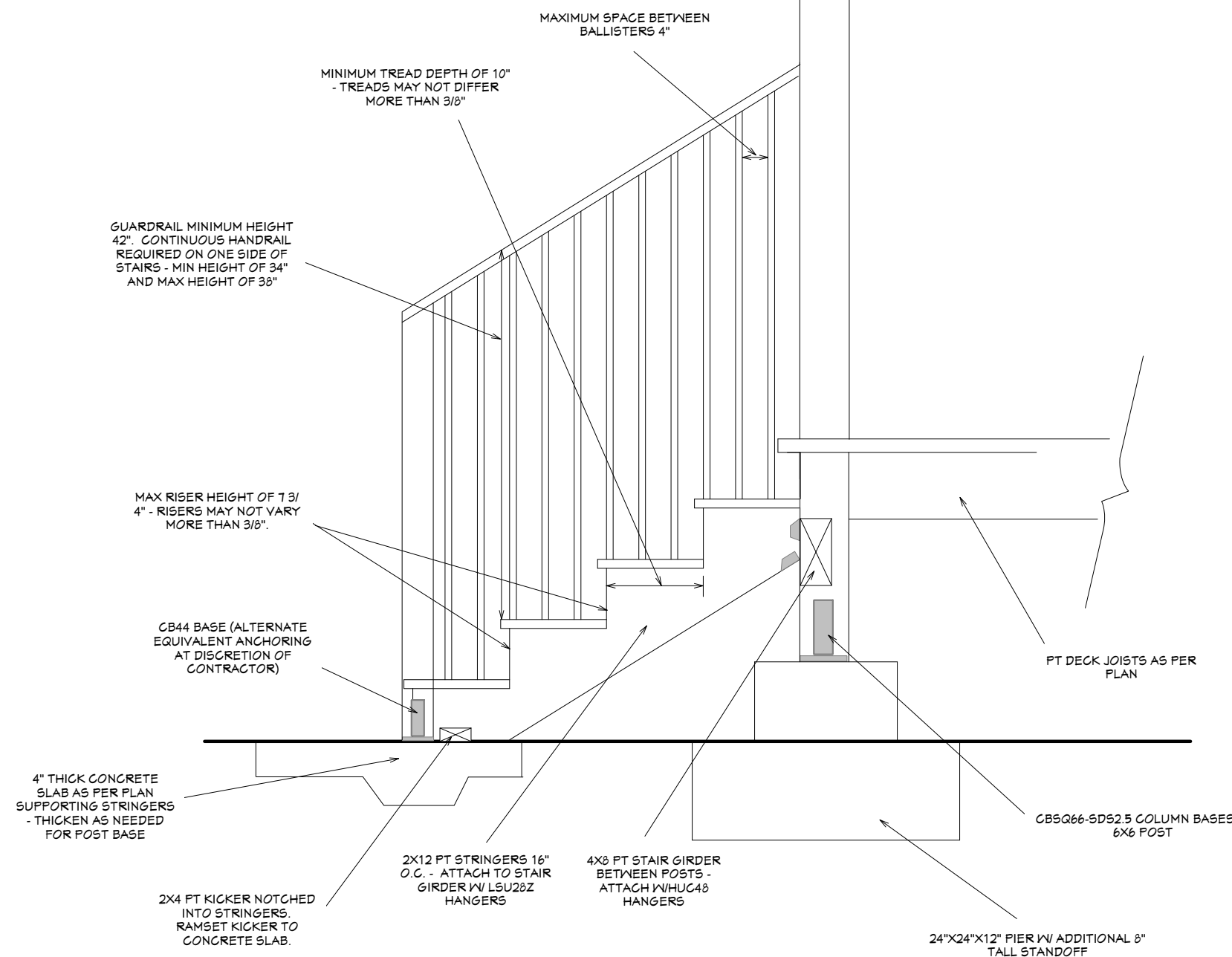
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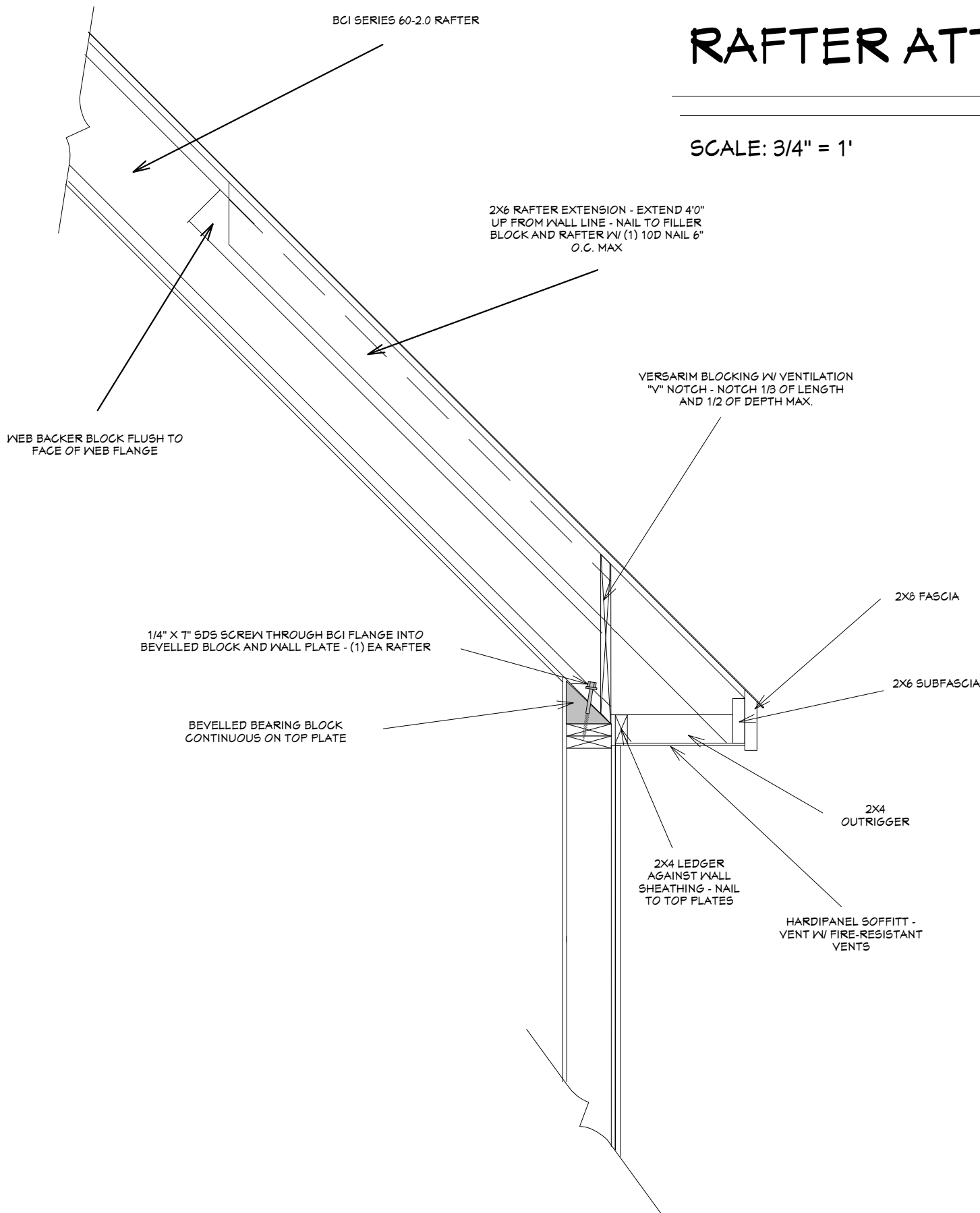
STAIR DETAIL

SCALE: 3/4" = 1'



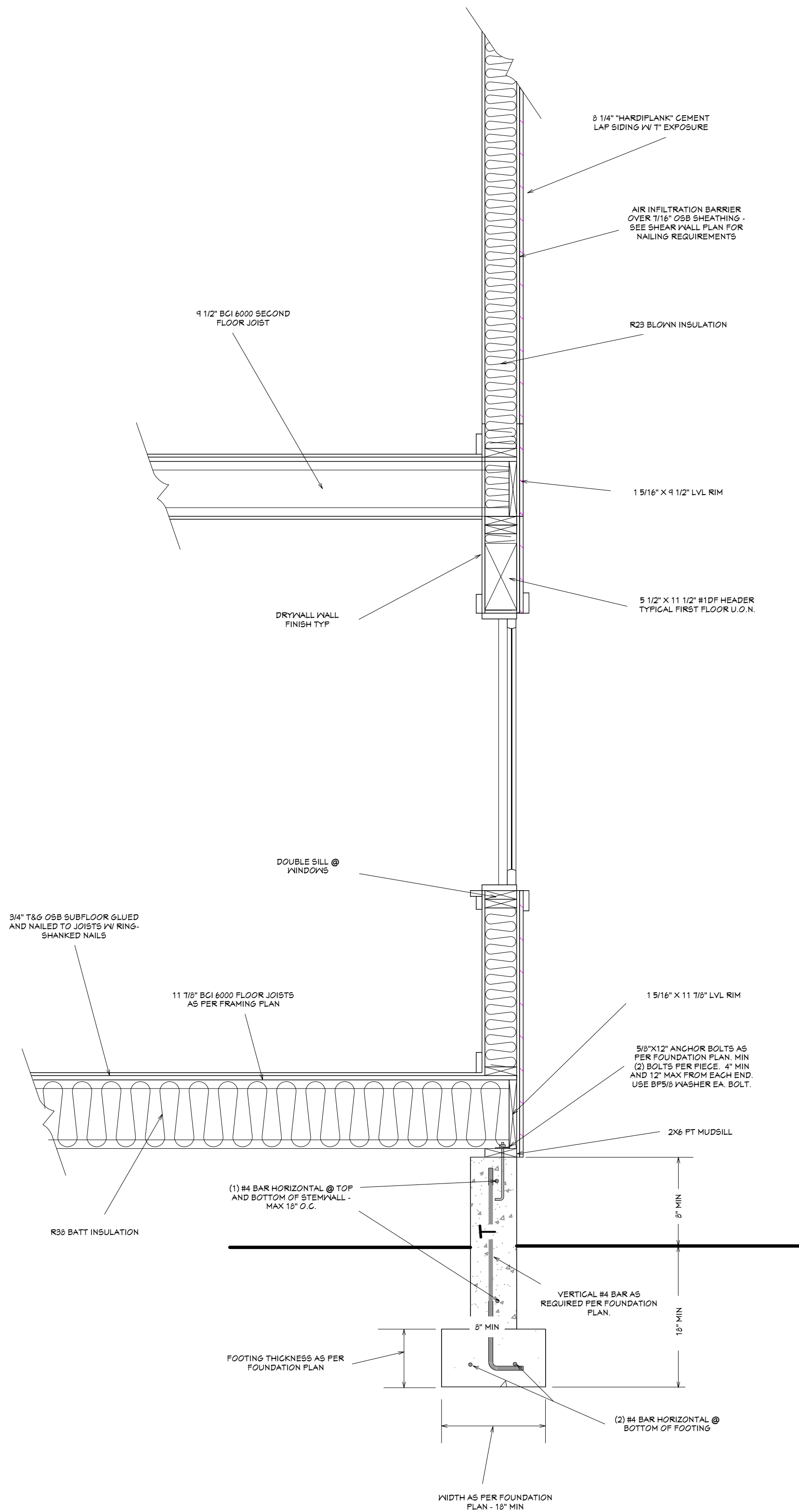
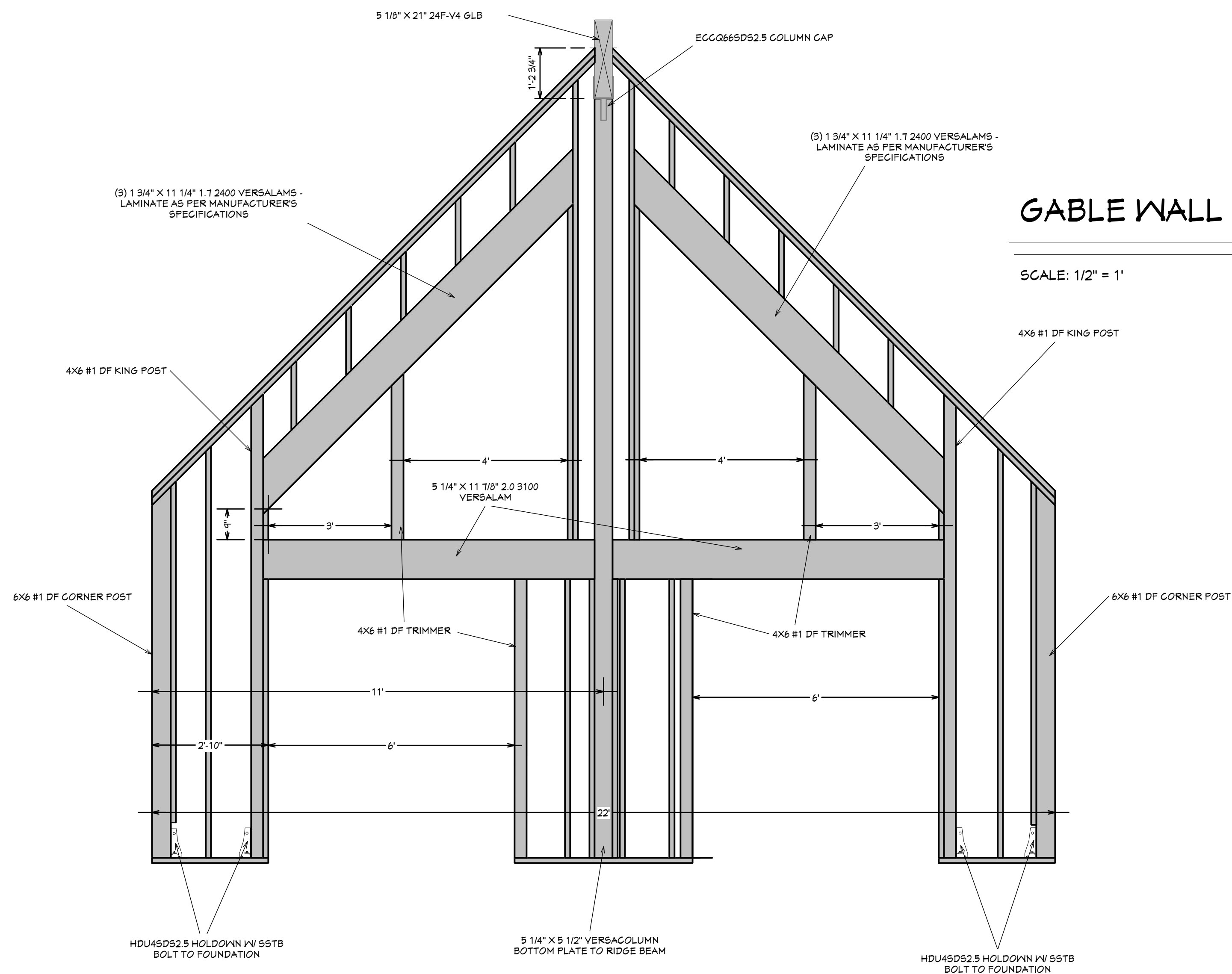
RAFTER ATTACHMENT DETAIL

SCALE: 3/4" = 1'



GABLE WALL FRAMING DETAIL

SCALE: 1/2" = 1'



TYPICAL WALL DETAIL

SCALE: 3/4" = 1'

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CHICO, CA 95926

NUMBER	REVISION TABLE		DESCRIPTION
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SHEET TITLE:

DETAILS

PROJECT DESCRIPTION:

CARTER RESIDENCE
LASSEN VIEW COURT
MC CLOUD, CA 96057
AP# XXX-XXX-XXX

DRAWINGS PROVIDED BY:



DATE:

5/30/15

SCALE:

AS NOTED

SHEET:

9