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## CODE COMPLIANCE NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA RESIDENTIAL CODE, 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA FIRE CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA ENERGY CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ANY OTHER APPLICABLE CODES.

2. TREE PROTECTION SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.

3. NO WORK SHALL BE DONE IN THE PUBLIC RIGHT OF WAY

## GENERAL NOTES

1.DO NOT SCALE DRAWINGS.

2.CONTRACT DOCUMENTS WHICH DESCRIBE EXISTING CONSTRUCTION HAVE BEEN BASED ON FIELD INSPECTION, BUT ARE NOT BASED ON EXTENSIVE FIELD MEASUREMENTS, OPENING OF CONCEALED CONDITIONS OR EXCAVATION OF BURIED ITEMS. NO RELIABLE CONSTRUCTION DOCUMENTS FOR THE EXISTING STRUCTURE WERE AVAILABLE. THESE DRAWINGS ARE INTEDED AS A GUIDE TO THE CONTRACTOR WHO SHALL VERITY DIMENSIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE DESIGNER BEFORE PROCEEDING WITH WORK REGARDING CHANGES, DISCREPANCIES OR ALTERATIONS THAT ARE INCONSISTENT WITH THESE DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF PRE-EXISTING CONDITIONS WHICH PROHIBIT EXECUTION OF WORK AS DESCRIBED HEREIN.

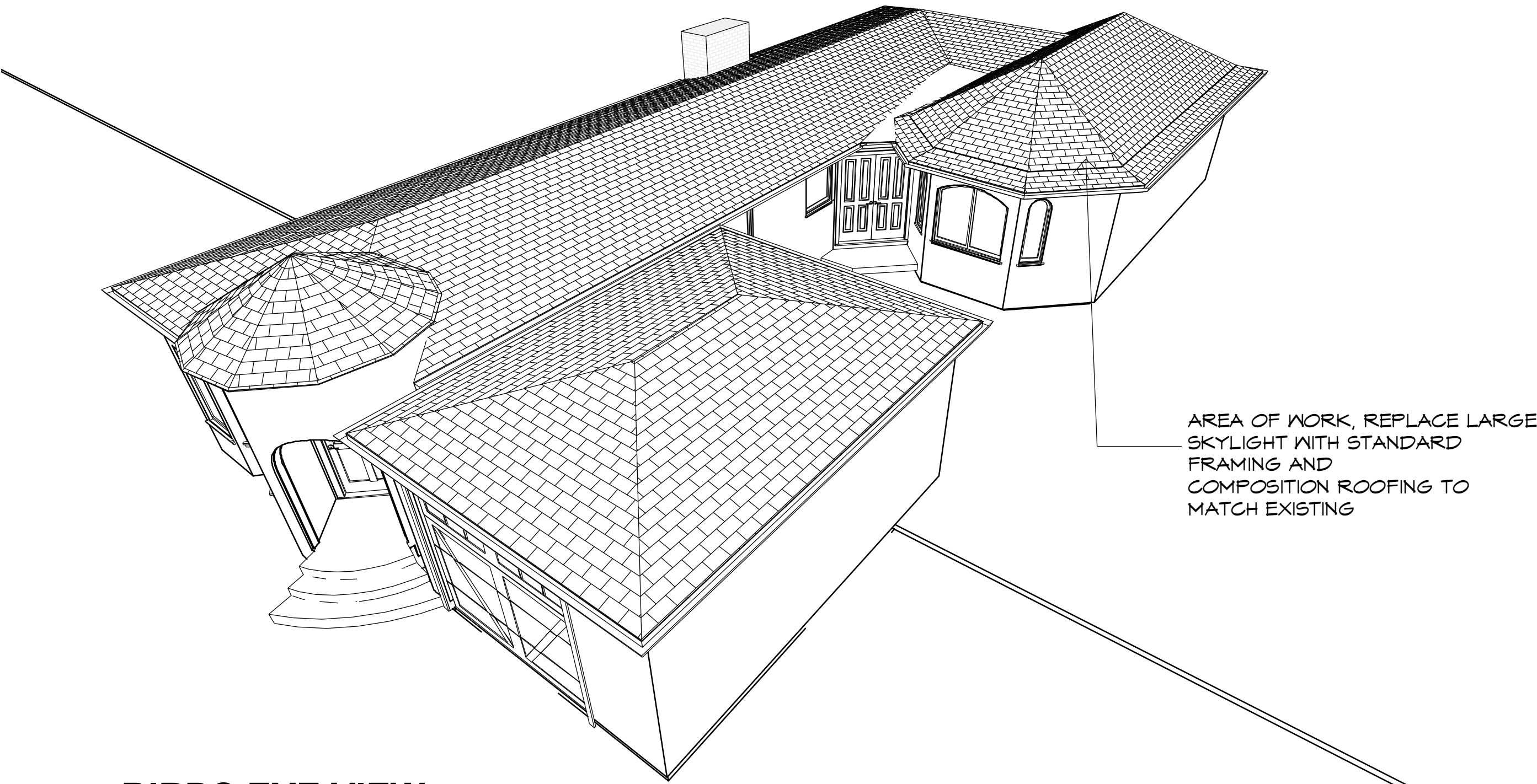
3..NEW CONSTRUCTION TO MATCH EXISTING DETAILS AND FINISHES. WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION, PATCH AND MATCH SURFACES AND FINISHES TO ALIGN CONSISTENTLY SO NO VISUAL EVIDENCE OF CORRECTED WORK REMAINS UPON COMPLETION.

4.FLOOR ELEVATIONS = TOP OF PLYWOOD SUB-FLOOR OR TOP OF SLAB.

5.ALL WALLS DIMENSIONED TO FACE OF STUD (UNLESS OTHERWISE NOTED).



PHOTO OF EXISTING SKYLIGHT ROOF ELEMENT



BIRDS EYE VIEW

NO SCALE

## PLANNING APPROVAL

DS 15-410 (Stallings)  
Conditions of Approval  
November 20, 2015

### AUTHORIZATION:

1. This approval of Design Study (DS 15-410) authorizes the removal of a large skylight and its replacement with truss framing and asphalt composition roofing to match existing roofing. This approval also authorizes the extension of the roof eaves at the rear door porch area. The construction shall be consistent with the November 20, 2015, approved plan set.

### SPECIAL CONDITIONS:

2. The applicant shall apply for and obtain a building permit for the re-roof prior to commencing work.
3. The applicant agrees, at the applicant's sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

\*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

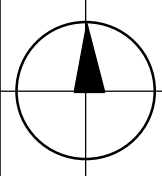
Date

Once signed, please return to the Community Planning and Building Department.

## PROJECT INFORMATION

OWNER	STALLINGS
SITE ADRESS	Torres 5 n.e. of 2nd Carmel CA 93921
A P N	APN 010-101-015
LEGAL	MAP OF CARMEL CITY LOT 10 BLK 14.
LOT/BLOCK	LOT 10, BLK 14
YEAR BUILT	1957
ZONING	R-2
CONST. TYPE	V-B
OCCUPANCY	R-3
FIRE SPRINKLERS	NO
HISTORIC	NO

LOT SIZE	4000 S.F.
EXISTING BUILDING AREA	1573 S.F.
EXISTING GARAGE	278 S.F.
<b>EXISTING TOTAL BUILDING AREA</b>	<b>1851 S.F</b>
SITE COVERAGE	
FRONT PORCH, LANDING	166 S.F.
DRIVEWAY	224 S.F.
SIDE AND REAR EXTERIOR LANDINGS	45 S.F.
SIDE YARD STEPS AT GRADE	19 S.F.
FRONT YARD PATH	80 S.F.
REAR PATIO AND PATH	260 S.F.
<b>SITE COVERAGE TOTAL</b>	<b>652 S.F.</b>



### VICINITY MAP

NO SCALE

## SCOPE OF WORK

ROOF REPAIR TO REMOVE LARGE SKYLIGHT AND REPLACE WITH TRUSS FRAMING AND ASPHLAT COMPOSITION ROOFING (TO MATCH EXISTING ROOFING)

EXTEND ROOF AT REAR DOOR PORCH AREA.

## REVISION NOTES - BP 15-423

- 1 ADD SHOWER TO EXISTING POWDER ROOM.  
ROTATE LAUNDRY DIRECTION AT SAME LOCATION.  
RELOCATE OVEN AND REFRIGERATOR.  
ADD EXHAUST FANS AT SKYLIGHT WELLS.

## CONTACT INFORMATION

OWNER - Jill Stallings	408.807.1635
DESIGNER - Alan Lehman	831.747.4718
CONTRACTOR - Tom Reynolds	831-915-1477

## DRAWING INDEX

A1	PROJECT DATA, NOTES
A2	SITE PLAN
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## REVISIONS

1/4/2016

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DESIGN  
STUDIO

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ALAN LEHMAN

Alan Lehman

PROJECT INFORMATION

PERSPECTIVE VIEW

STALLINGS Residential Remodel

Torres 5 n.e. of 2nd Carmel CA 93921  
APN 010-101-015

10/19/2015

SHEET

A1

STALLINGS BLDG



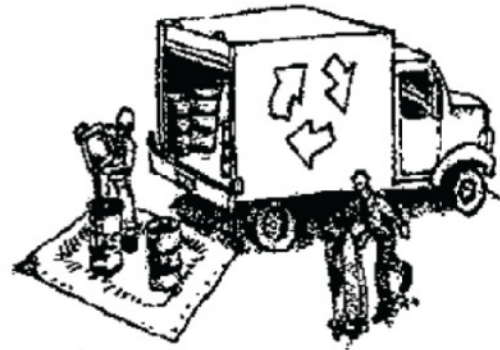
# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Water Pollution Prevention Program

Clean Water. Healthy Community.

### Materials & Waste Management



#### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

#### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather, or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

#### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

#### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

### Equipment Management & Spill Control



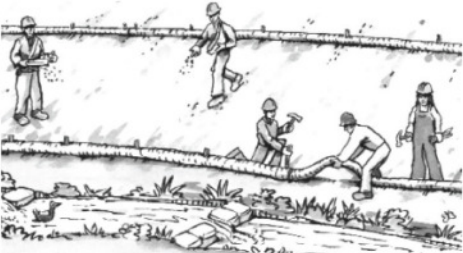
#### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

#### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

### Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

#### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

### Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash down fresh asphalt concrete pavement.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

#### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

### Concrete, Grout & Mortar Application



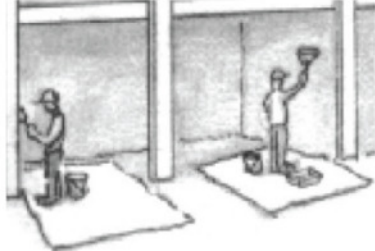
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

### Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

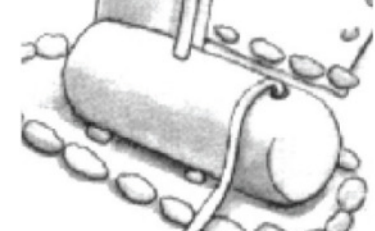
### Painting & Paint Removal



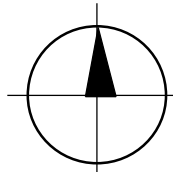
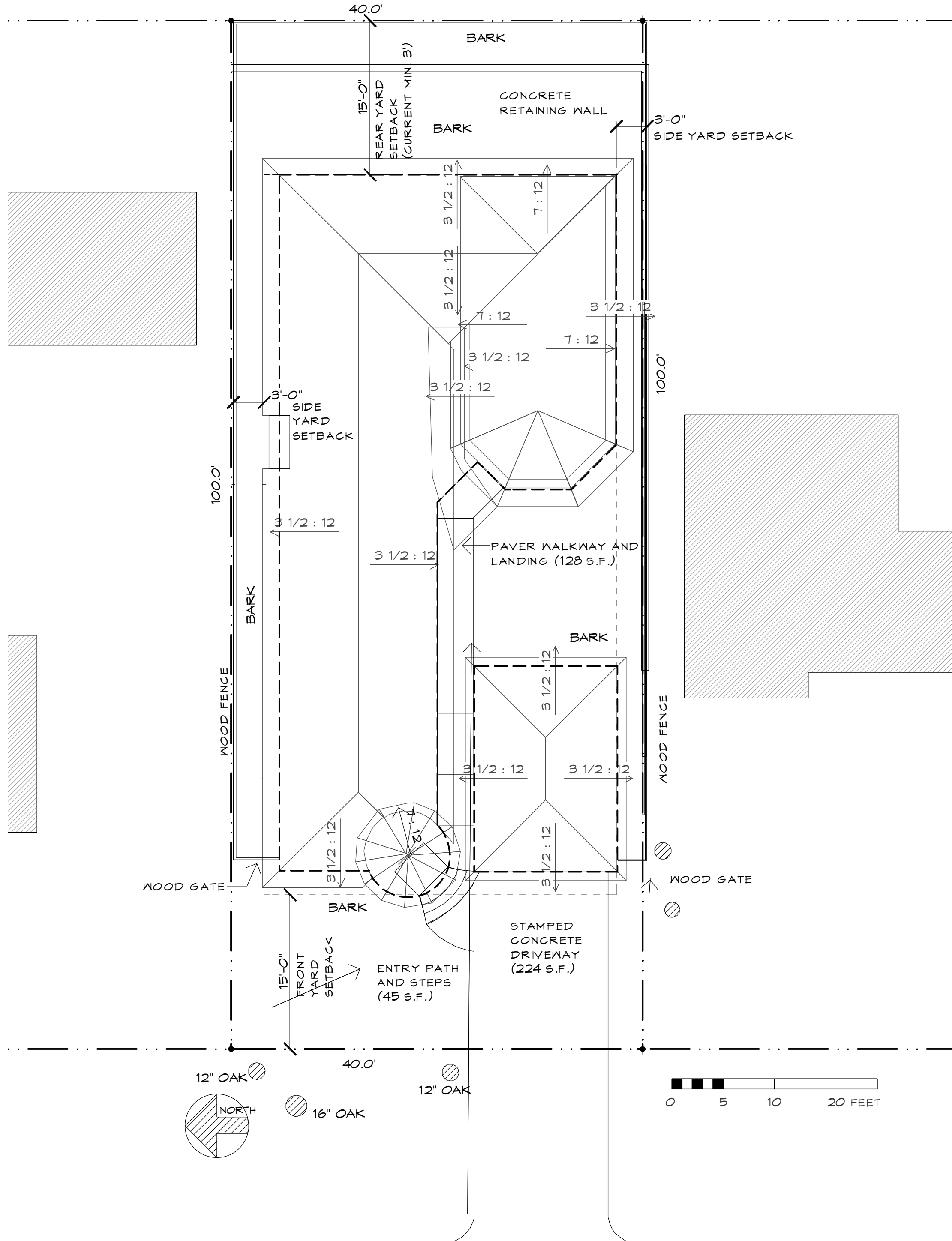
#### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

### Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.



## SITE PLAN

SCALE 1/8" = 1'-0"

NO SITE WORK OR TREE REMOVAL ON THIS PERMIT. TREE PROTECTIONS SHALL BE IN PLACE BEFORE ANY CONSTRUCTION WORK COMMENCES.

## REVISIONS

1/4/2016

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## DRAWN BY

ALAN LEHMAN

SITE PLAN  
DRAINAGE / BMP PLAN

STALLINGS Residential Remodel

Torres 5 n.e. of 2nd Carmel CA 93921  
APN 010-101-015

10/19/2015

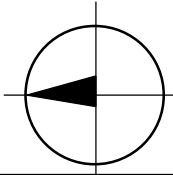
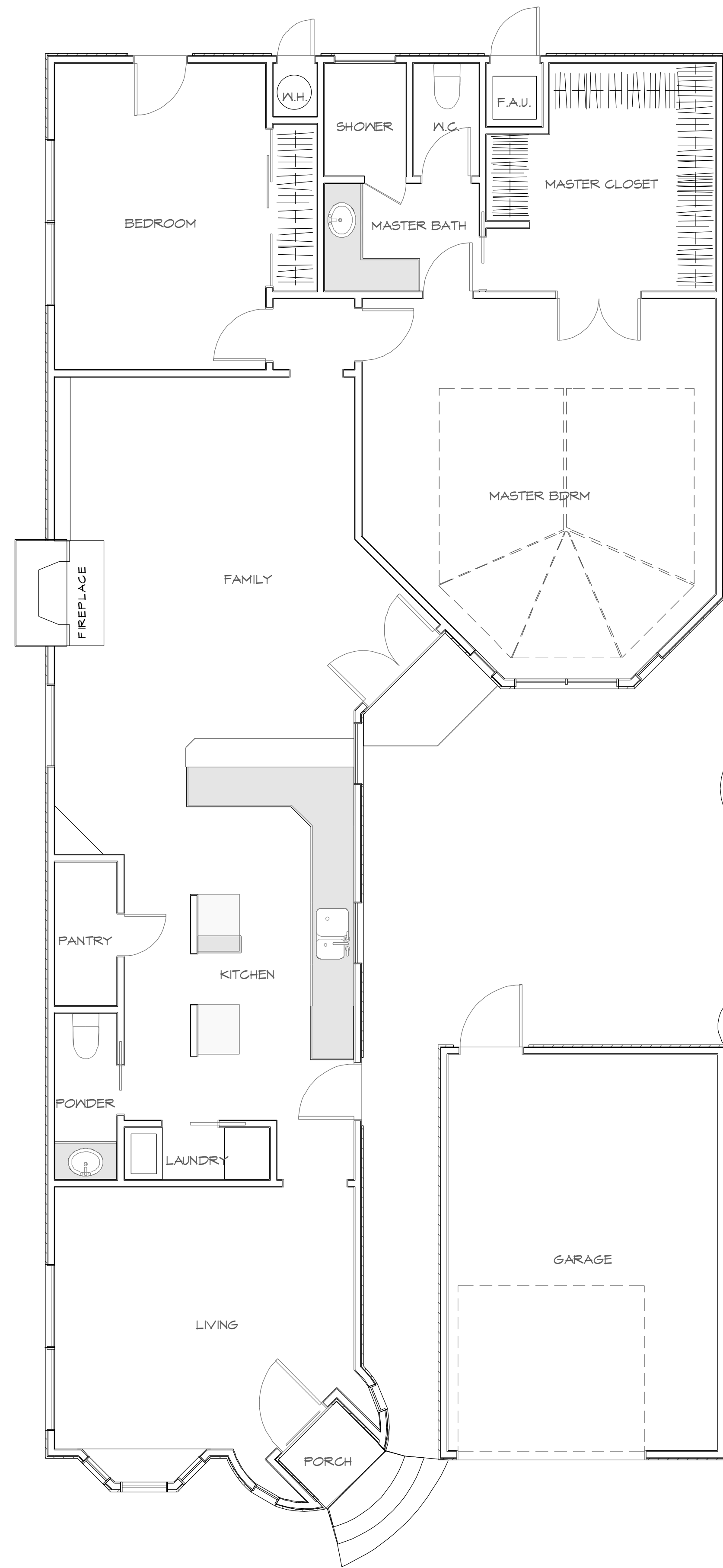
## SHEET

A2

STALLINGS BLDG



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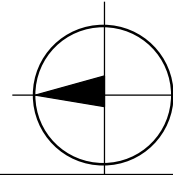
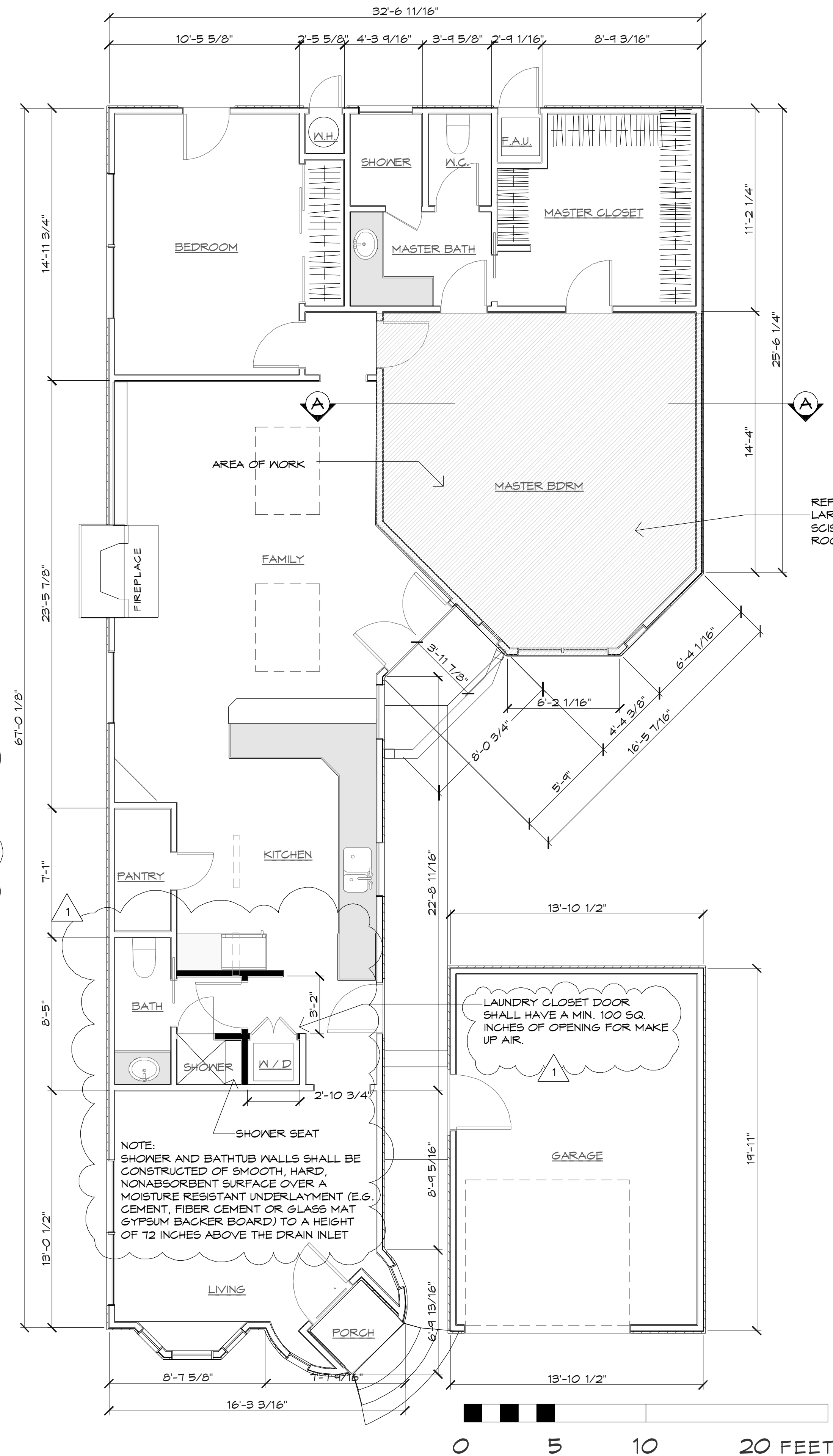


FLOOR PLAN - EXISTING

SCALE 1/4" = 1'-0"

### PLUMBING NOTES

1. ALL SHOWERHEADS SHALL PROVIDE A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE.
2. ALL NEW OR REPLACED TOILETS SHALL USE A MAXIMUM OF 1.28 GALLONS PER FLUSH.
3. PROVIDE FAUCET AERATORS THAT PROVIDE A MAXIMUM FLOW OF 2.2 GALLONS PER MINUTE.
4. SHOWER STALL SHALL HAVE A MIN. 1024 SQ. IN. FLOOR AREA
5. GLASS SHOWER DOOR SHALL BE TEMPERED GLASS
6. PROVIDE A TEMPERATURE LIMITING DEVICE FOR THE SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS TO A MAXIMUM OF 120 DEGREES F. THE THERMOSTAT OF THE WATER HEATER IS NOT CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
7. THE BATHROOM FAN SHALL BE CONTROLLED BY A HUMIDISTAT, BE ENERGY STAR RATED, AND VENTED DIRECTLY TO THE OUTSIDE, UNLESS THE FAN IS PART OF THE WHOLE HOUSE VENTILATION SYSTEM.
8. IN RESIDENCES CONSTRUCTED BEFORE 1994, PLUMBING FIXTURES MUST BE LOW FLOW FIXTURES AS FOLLOWS:  
TOILETS: 1.6 GPF  
LAVATORIES: 2.2 GPM  
KITCHEN SINKS: 2.2 GPM  
SHOWERS: 2.5 GPM  
OR THE FIXTURES MUST BE UPDATED TO THE CURRENT STANDARDS.
9. PROVIDE A MINIMUM 100 CFM KITCHEN HOOD EXHAUST TO THE EXTERIOR WITH METAL DUCT WORK. A CEILING OR WALL EXHAUST MAY BE USED THAT PROVIDES 5 AIR CHANGES PER HOUR.



FLOOR PLAN - PROPOSED

SCALE 1/4" = 1'-0"

### REVISIONS

1/4/2016

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DESIGN  
STUDIO

DRAWN BY

ALAN LEHMAN

*Alan Lehman*

FLOOR PLANS

STALLINGS Residential Remodel

Torres 5 n.e. of 2nd Carmel CA 93921  
APN 010-101-015

10/19/2015

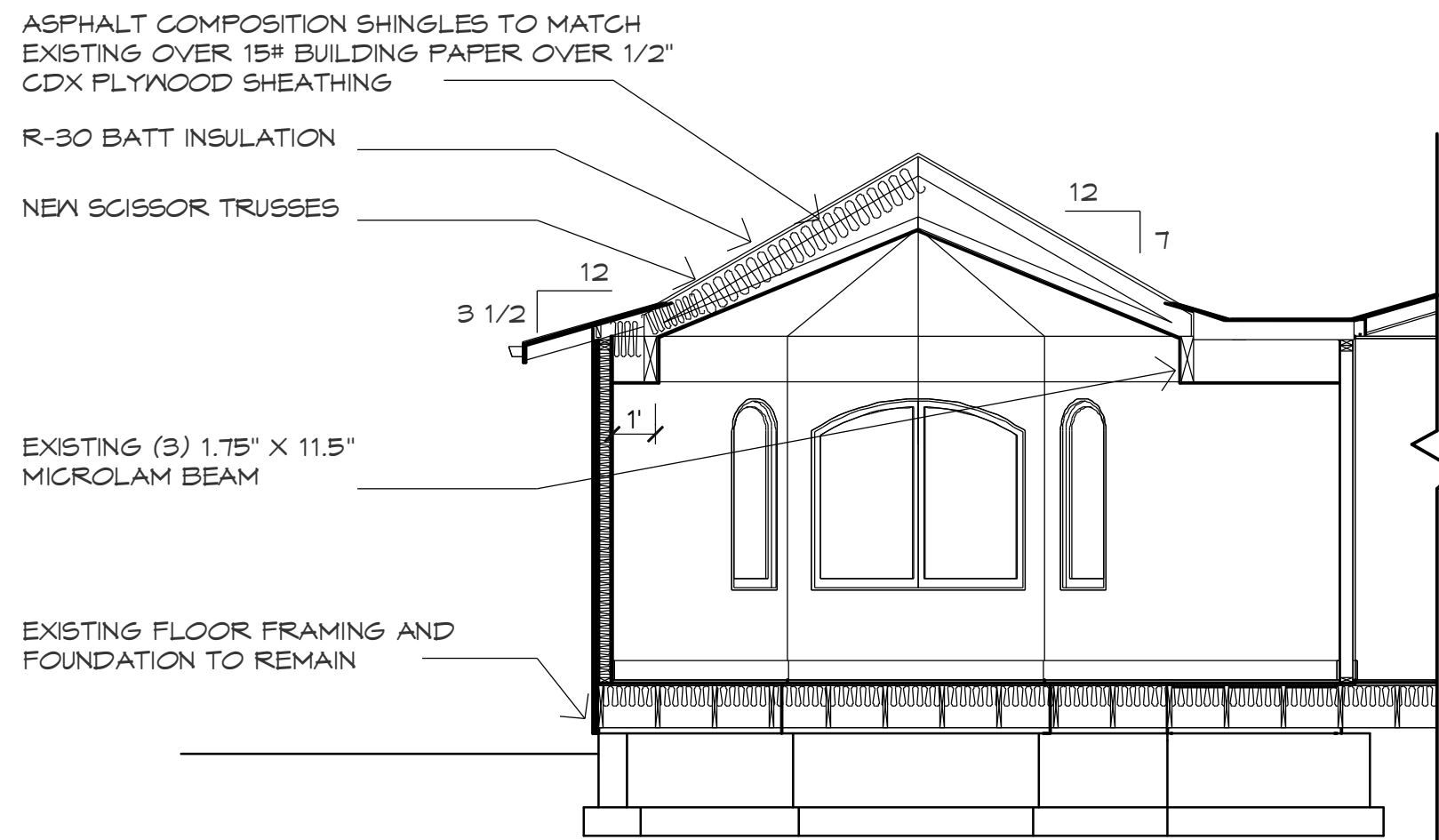
SHEET

A3

STALLINGS BLDG

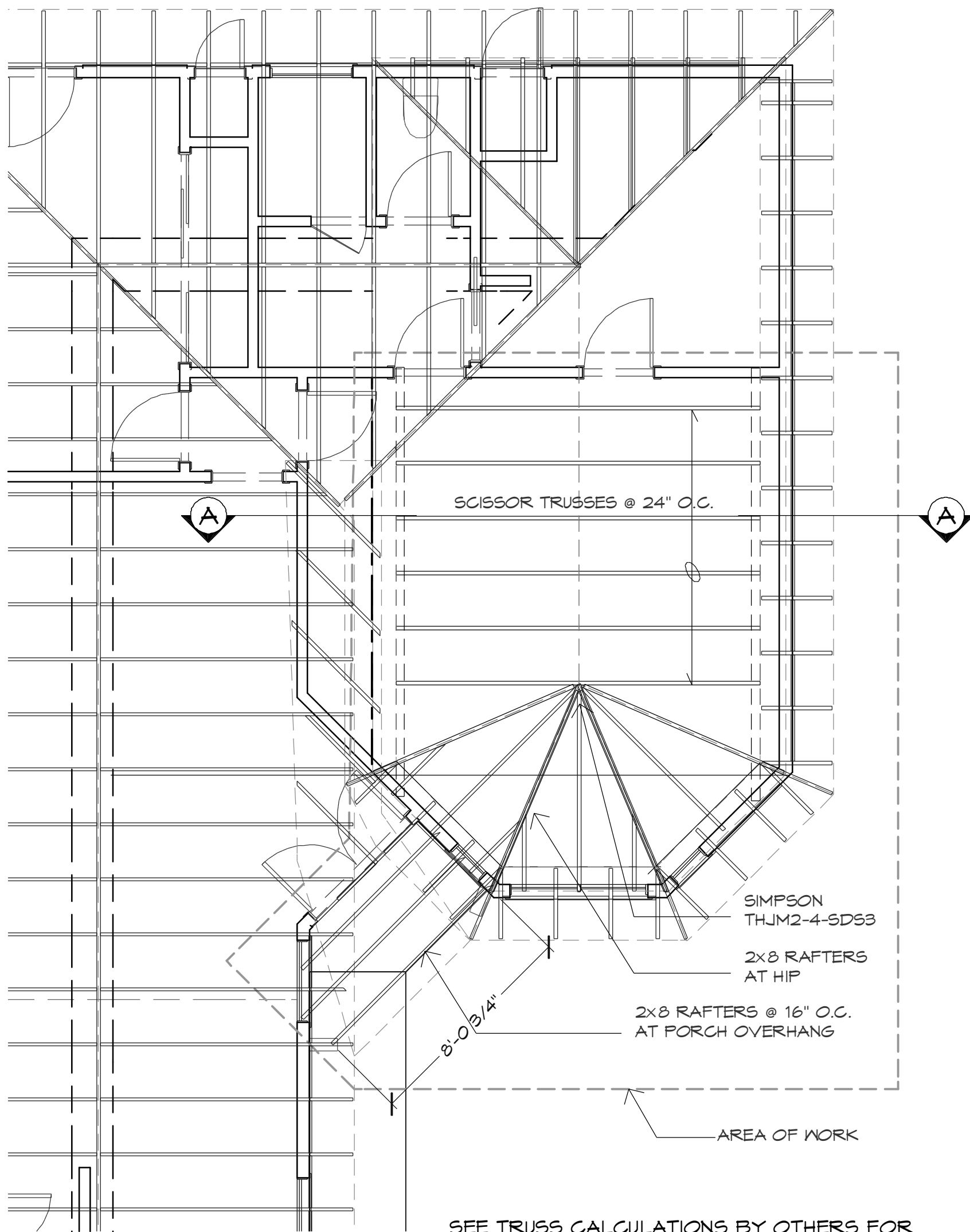


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**BUILDING SECTION A**

SCALE 1/4" = 1'-0"



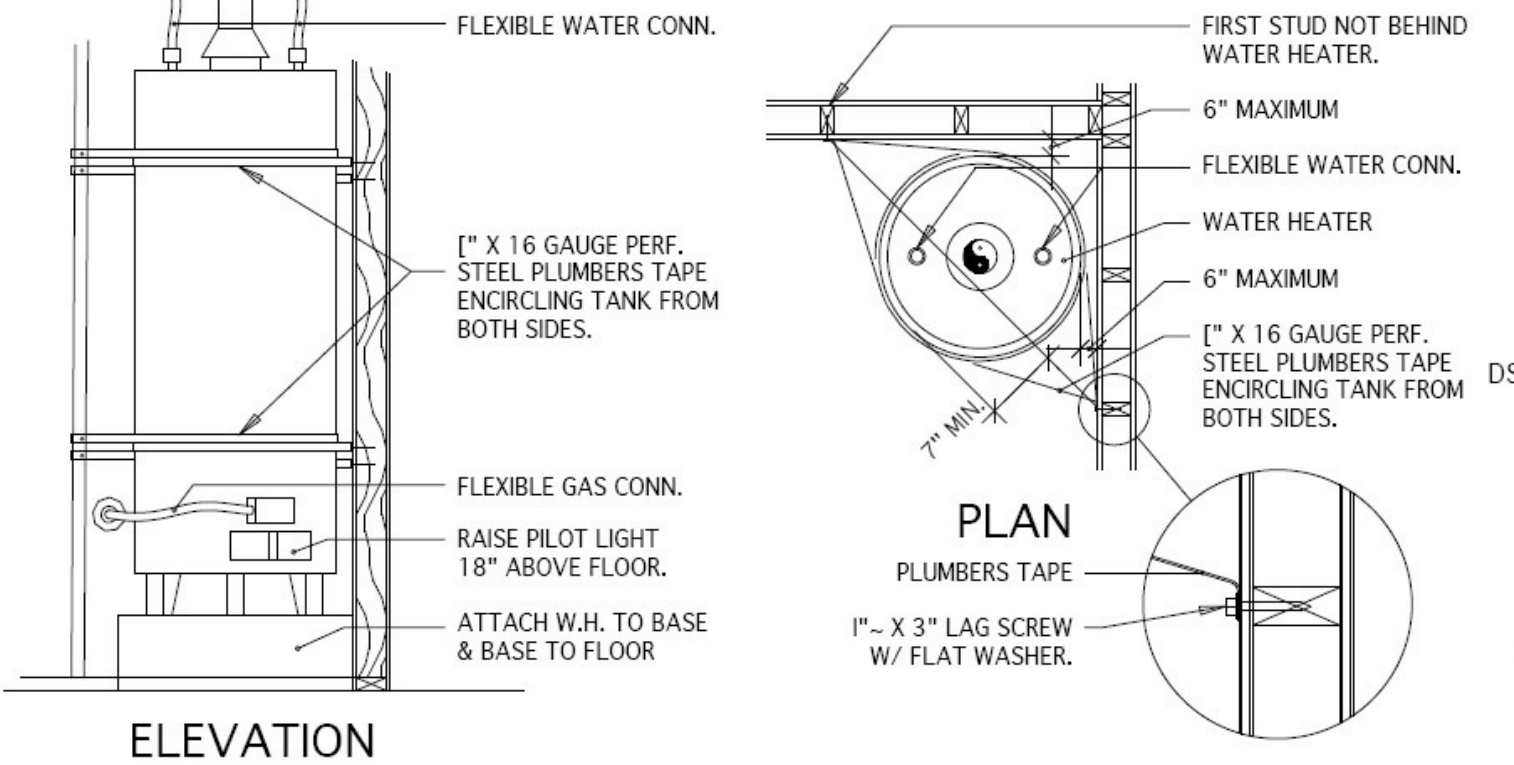
**FRAMING PLAN - PARTIAL**

SCALE 1/4" = 1'-0"

**WATER HEATER NOTES**

1. ALL WATER HEATERS SHALL HAVE A TEMPERATURE AND PRESSURE (T&P) VALVE WHICH WILL DISCHARGE TO THE EXTERIOR. END OF PIPE SHALL NOT BE MORE THAN 2' NOR LESS THAN 6" ABOVE GROUND.

2. WATER HEATERS REQUIRE (2) 100 SQUARE INCHES NET AIR OPENINGS WITHIN TOP AND BOTTOM OF DOOR (2' WIDE MIN.) TO WATER HEATER CLOSET.



**2 WATER HEATER STRAPPING (SIM.)**

NO SCALE

**ELECTRICAL NOTES**

1. ALL BATHROOM LIGHTING THAT IS NON FLUORESCENT SHALL HAVE VACANCY SENSOR SWITCHES.

2. NEW BATH FANS IN EACH BATH SHALL BE 50 CFM MIN.

3. ALL FIXTURES IN KITCHEN SHALL BE FLUORESCENT OR HIGH EFFICACY.

4. SWITCH ADJACENT TO SINK OPERATES ONE RECEPTACLE OF OUTLET BELOW SINK FOR GARBAGE DISPOSAL.

5. HARDWIRED AND INTERCONNECTED SMOKE DETECTORS SHALL BE LOCATED IN HALLWAY AND IN ALL BEDROOMS AS SHOWN. HARDWIRED CO DETECTORS SHALL BE LOCATED AS SHOWN ON PLANS.(CRC SECTION R314 AND R315)

6. ALL LIGHTING (NOT NOTED ABOVE) THAT IS NOT HIGH EFFICACY SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER.

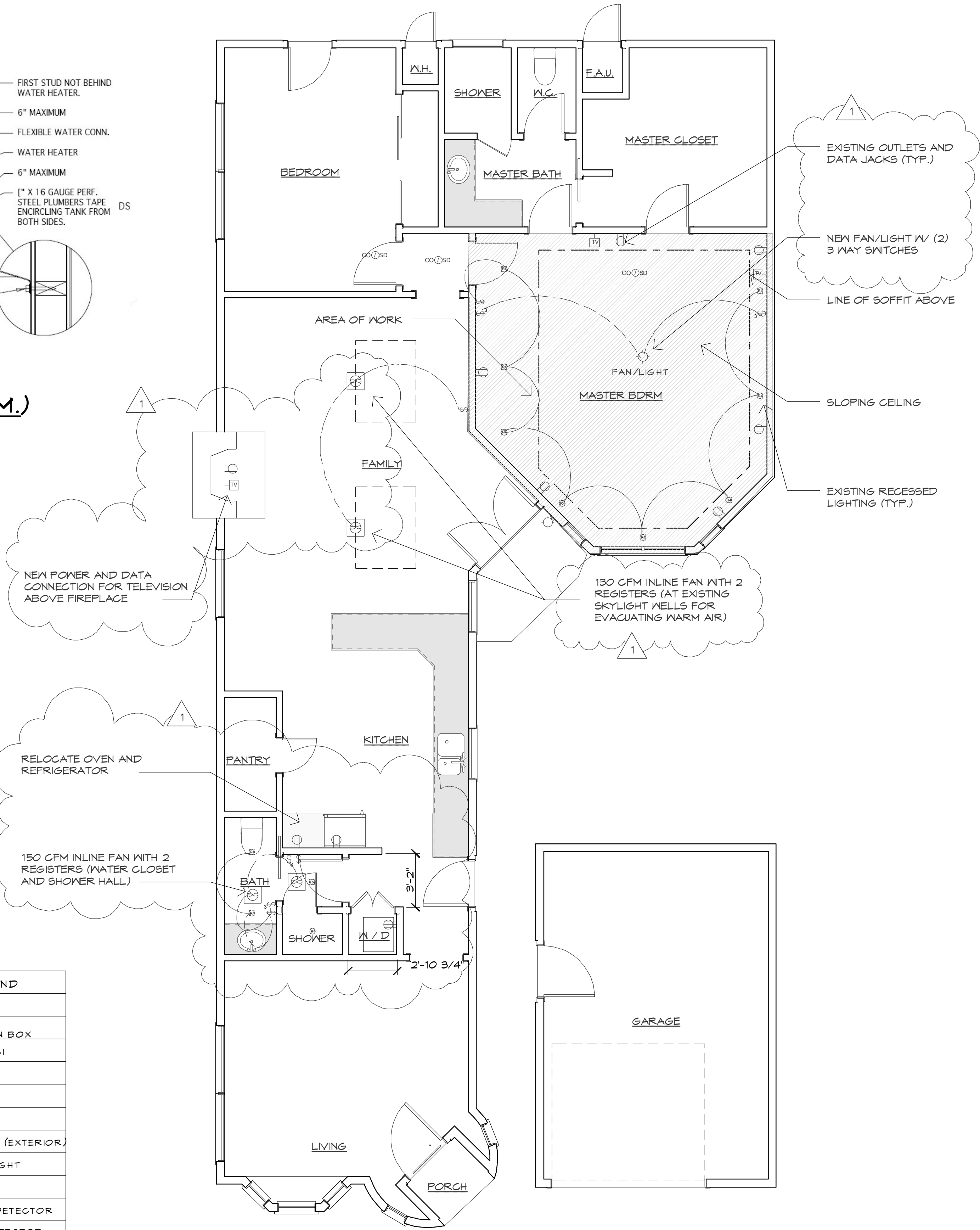
7. OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO THE BUILDINGS SHALL BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTO-CONTROL/MOTION SENSOR.

8. ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE FOR ALL AREAS EXCEPT, EXTERIOR, LAUNDRY ROOM, MECHANICAL EQUIPMENT, KITCHENS, BATHROOMS, GARAGES AND ATTIC SPACE WHICH REQUIRE GROUND FAULT CIRCUIT INTERRUPTERS (GFCI).

9. KITCHEN SHALL HAVE (2) 20 AMP DEDICATED BRANCH CIRCUITS. LAUNDRY AND BATHROOM AREA SHALL HAVE (1) 20 AMP DEDICATED BRANCH CIRCUIT (MIN.), EACH FORCED AIR HEATING UNIT (FAU) SHALL HAVE (1) 20 AMP DEDICATED BRANCH CIRCUIT.

10. ALL NEW RECEPTACLES SHALL BE TAMPER RESISTANT.

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	DUPLEX OUTLET-GFCI, WEATHER PROTECTION BOX
	DUPLEX OUTLET - GFCI
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	EXHAUST FAN
	WALL MOUNTED LIGHT (EXTERIOR)
	SURFACE MOUNTED LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CARBON + SMOKE DETECTOR
	RECESSED LED LIGHT
	PENDANT LIGHT
	WALL MOUNTED FIXTURE



0 5 10 20 FEET

**ELECTRICAL PLAN (PARTIAL)**

SCALE 1/4" = 1'-0"

**REVISIONS**

1/4/2016

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**LEHMAN DESIGN STUDIO**

**DRAWN BY ALAN LEHMAN**

*Alan Lehman*

**FRAMING PLAN  
ELECTRICAL PLAN  
BUILDING SECTION**

**STALLINGS Residential Remodel**

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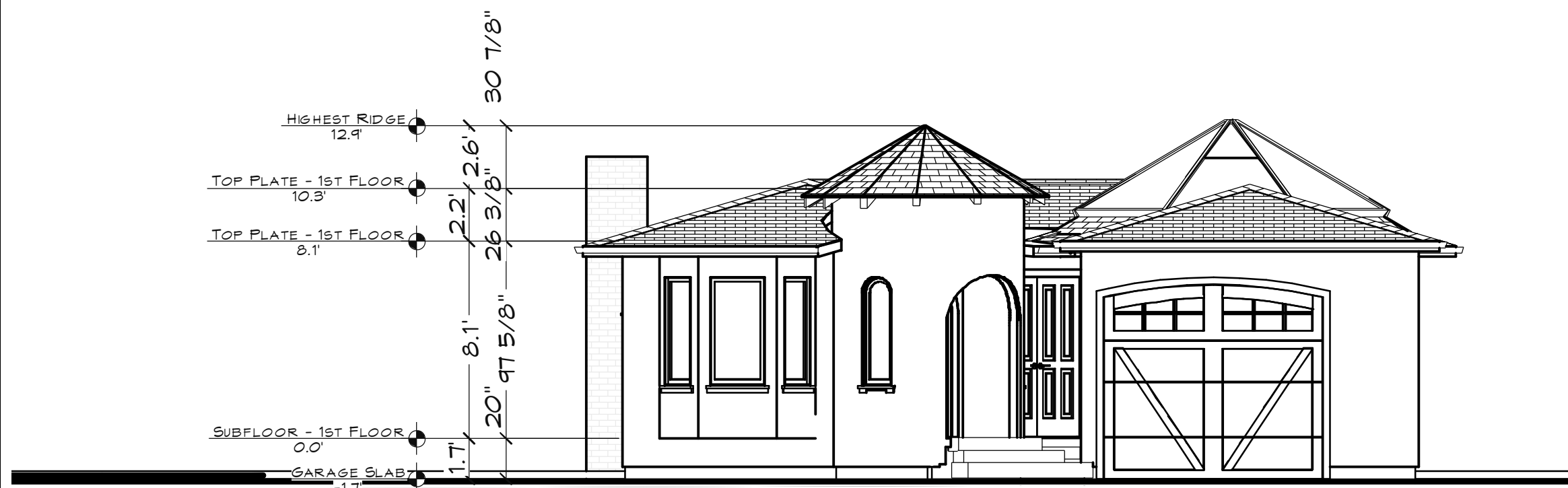
**SHEET**

**A4**

STALLINGS BLDG

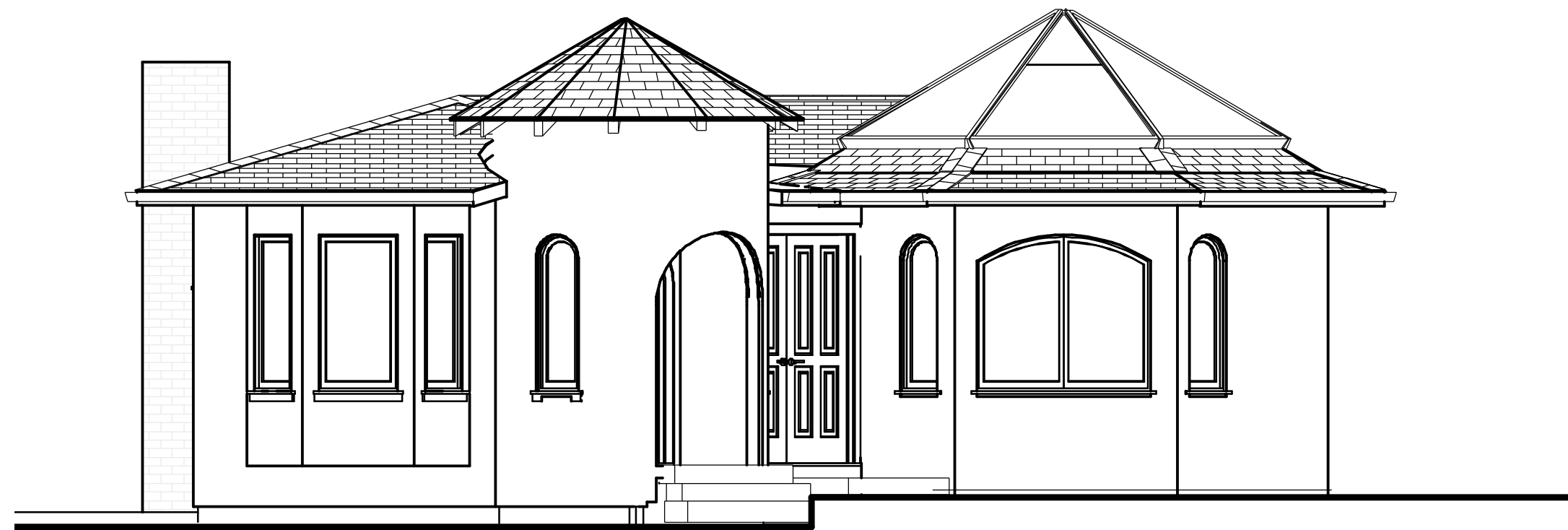


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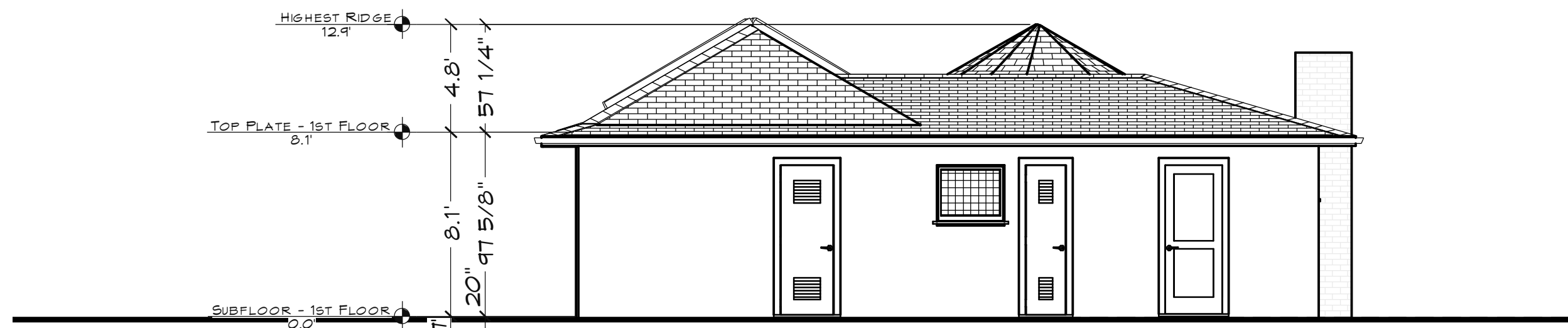
**SOUTH ELEVATION - FROM STREET**

SCALE 3/16" = 1'-0"



**SOUTH ELEVATION - WITHOUT GARAGE SHOWN (EXISTING)**

SCALE 1/4" = 1'-0"



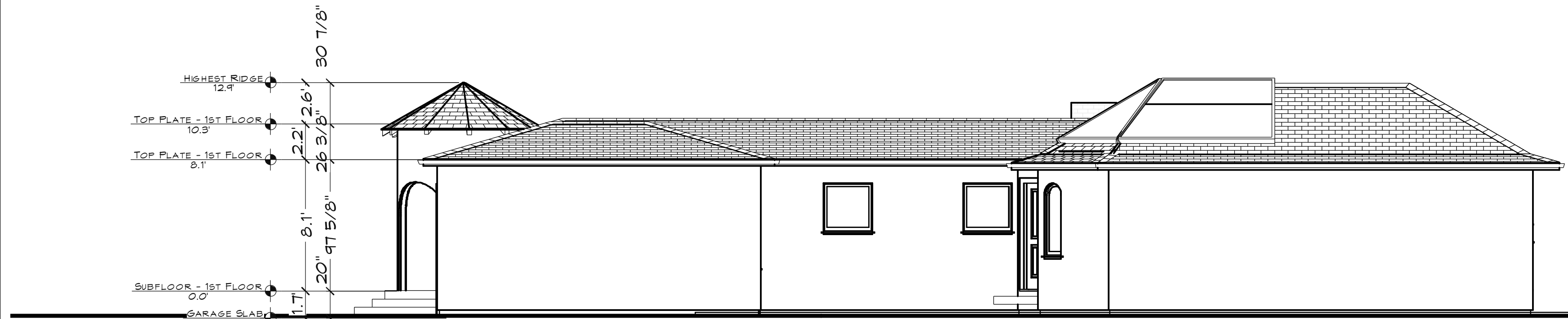
**NORTH ELEVATION**

SCALE 3/16" = 1'-0"



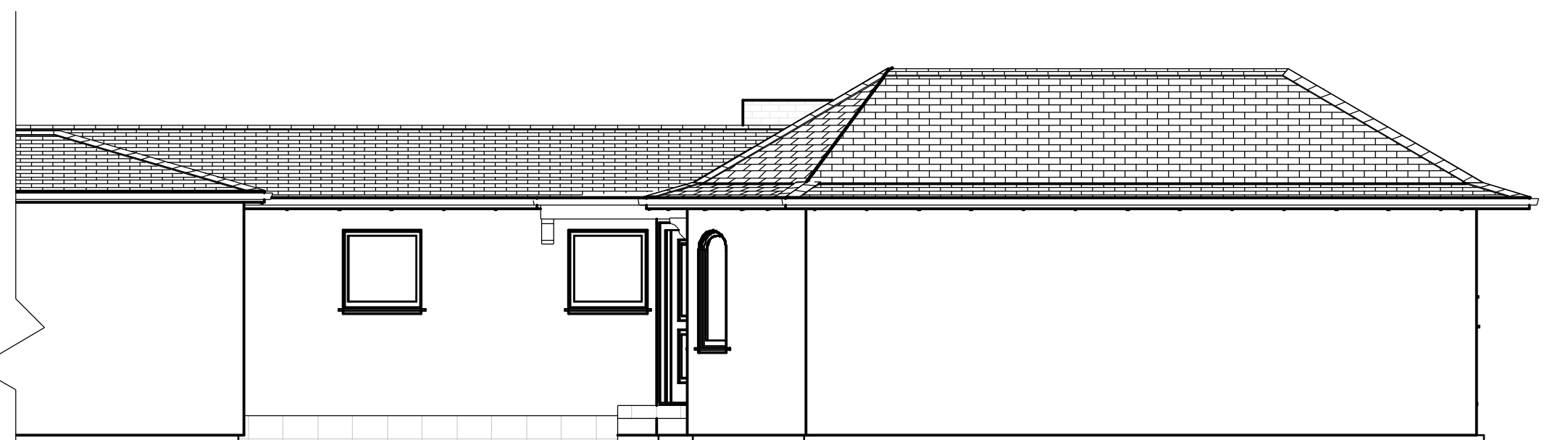
**SOUTH ELEVATION - WITHOUT GARAGE SHOWN (PROPOSED)**

SCALE 1/4" = 1'-0"



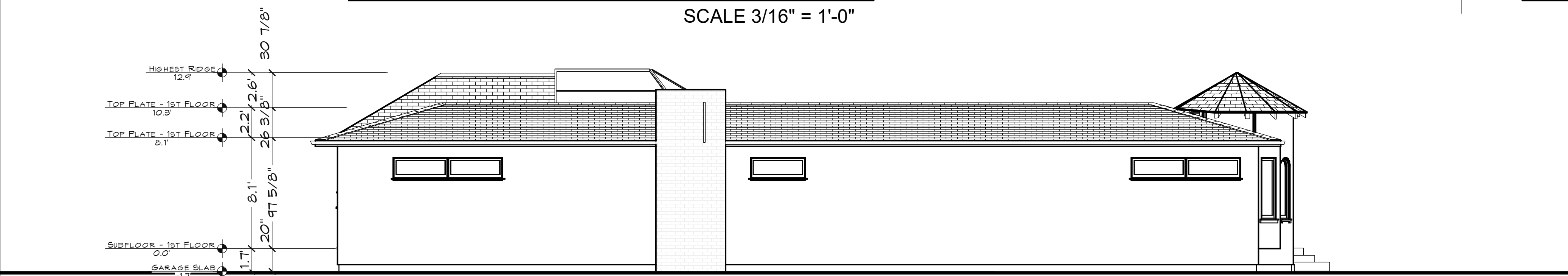
**EAST ELEVATION**

SCALE 3/16" = 1'-0"



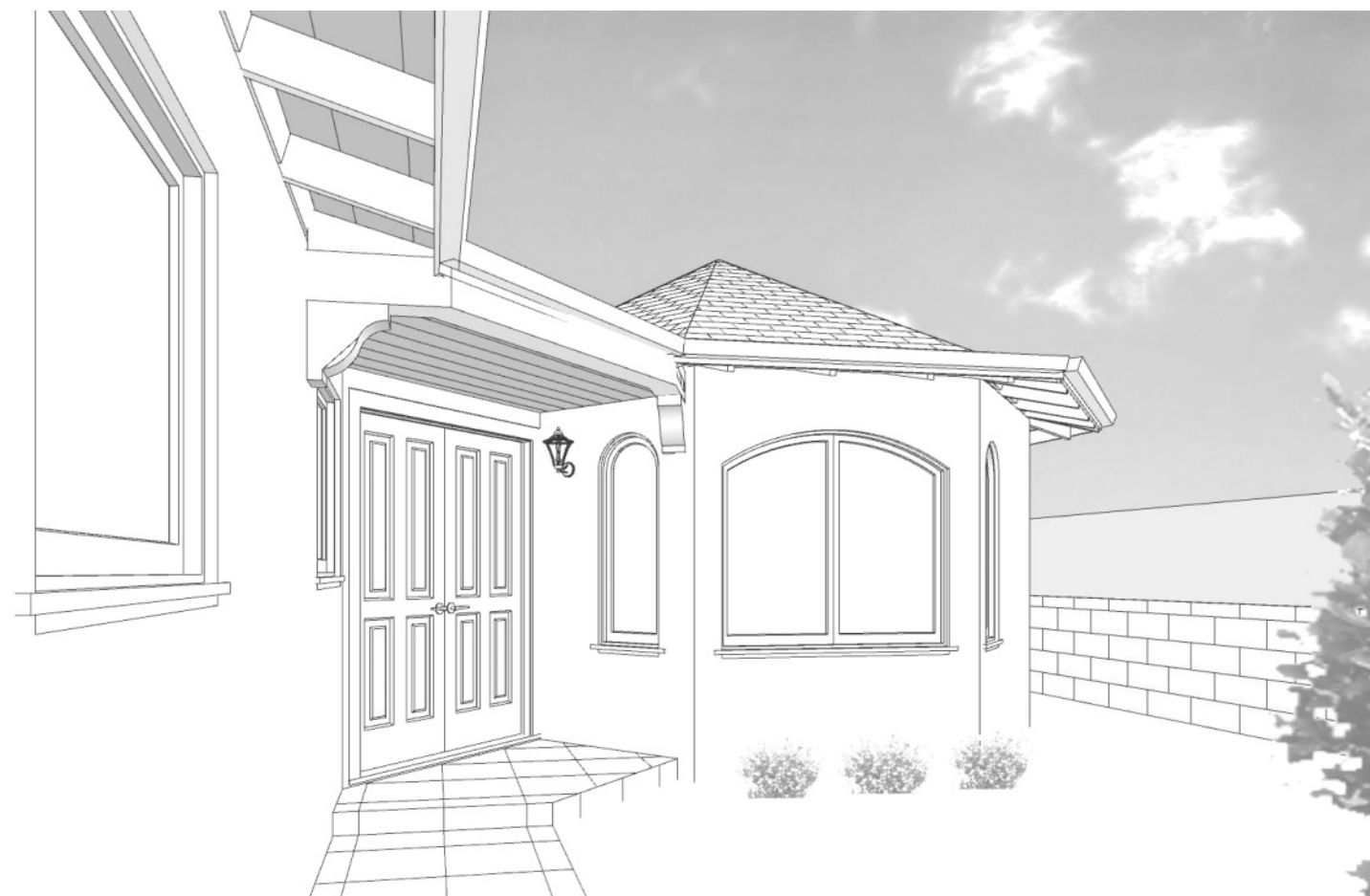
**EAST ELEVATION - PROPOSED**

SCALE 3/16" = 1'-0"



**WEST ELEVATION**

SCALE 3/16" = 1'-0"



**PERSPECTIVE VIEW**

**REVISIONS**

1/4/2016

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**LEHMAN  
DESIGN  
STUDIO**

**DRAWN BY  
ALAN LEHMAN**

*Alan Lehman*

**ELEVATIONS**

**STALLINGS Residential Remodel**

Torres 5 n.e. of 2nd Carmel CA 93921  
APN 010-101-015

10/19/2015

**SHEET**

**A5**







